

Title	Planning Applications
To:	Planning Control Committee
On:	26 March 2019
By:	Development Manager
Status:	For Publication

Executive Summary

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

This report has the following implications

Township Forum/ Ward: Identified in each case.

Policy: Identified in each case.

Resources: Not generally applicable.

Equality Act 2010: All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:
The elimination of discrimination, harassment and victimisation;
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

Human Rights: All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based

upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

The Crime and Disorder Act 1998 imposes (without prejudice to any other obligation imposed on it) a duty upon the Council to exercise its functions and have due regard to the likely effect of the exercise of its functions on, and the need to do all that it reasonably can to prevent crime and disorder in its area. In so doing and on making planning decisions under the Town and Country Planning Acts, the Planning Control Committee shall have due regard to the provisions of the Crime and Disorder Act 1998 and its implications in the exercise of its functions.

Development Manager

Background Documents

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

01	Township Forum - Ward: Radcliffe - East	App No. 63559
	Location: Land to South of Morris Street and land within Close Park, Radcliffe	
	Proposal: A series of sheet piled walls and embankments, on land within Close Park and land to the south of Morris Street, which form part of a wider scheme to improve flood protection along the River Irwell.	
	Recommendation: Approve with Conditions	Site Visit: N
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02	Township Forum - Ward: Whitefield + Unsworth - Pilkington Park	App No. 63597
	Location: McDonald's Restaurant, 103 Bury New Road, Whitefield, Manchester, M45 7EG	
	Proposal: Alterations to elevations to include the construction of extensions totalling 52.9m2 and new cladding to roof and an additional drive thru booth. New shop front glazing, relocated entrance and new boundary fencing. The reconfiguration of the drive thru lane to provide side by side ordering and associated works to the site with new and relocated signage including fascia signage.	
	Recommendation: Approve with Conditions	Site Visit: N
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03	Township Forum - Ward: Whitefield + Unsworth - Pilkington Park	App No. 63636
	Location: Aldi Foodstore Ltd, Higher Lane, Whitefield, Manchester, M45 7EA	
	Proposal: Demolition of food store and retail terrace. Erection of replacement Class A1 foodstore with associated access, car parking, servicing and hard and soft landscaping	
	Recommendation: Approve with Conditions	Site Visit: N
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04	Township Forum - Ward: Whitefield + Unsworth - Unsworth	App No. 63686
	Location: Land at Roach Bank Road, Bury, BL9 8RY	
	Proposal: Retention of external lighting scheme and baffling approved by 62835	
	Recommendation: Approve with Conditions	Site Visit: N
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Ward: Radcliffe - East

Item 01

Applicant: Environment Agency

Location: Land to South of Morris Street and land within Close Park, Radcliffe

Proposal: A series of sheet piled walls and embankments, on land within Close Park and land to the south of Morris Street, which form part of a wider scheme to improve flood protection along the River Irwell.

Application Ref: 63559/Full

Target Date: 07/03/2019

Recommendation: Approve with Conditions

Description

The application site relates to two areas of land - Close Park and land near Morris Street and Dumers Lane.

Close Park is a public park and is around 11 hectares in size. The park is level throughout and with footways and there are a number of pitches, which are used by a local football club. There is a sports pavilion, tennis courts, bowling green and a childrens play area within the park. Vehicular access is taken from Church Green.

There are residential properties to the north, the River Irwell to the east, Bealeys Goit and Grade I listed buildings to the west and open land to the south.

The site at Dumers Lane is 0.5 miles to the north of Close Park. The site consists of open land to the south of Morris Street and runs along the River Irwell to the rear of industrial and residential properties.

There are residential properties to the north, east and west of the site and the River Irwell is located to the south.

Proposed development

The proposed development involves the provision of flood defence measures at the two sites - Close Park and Morris Street, which are a combination of flood embankments and vertical piled retaining walls.

Close Park - The proposed development involves 655 metres of flood embankments/bunds (405 metres) and walls (250 metres) to form a barrier to flood water. The route of the flood defences follows a line from the rear of properties at the north east corner of Close Park to a tie in point with high ground to the south of Radcliffe Tower.

The proposed sheet pile wall (2 metres in height) would be constructed along the rear of Nos 10 - 30 Parkside Close and would be adjacent to the bund. The proposed bund would be 3 metres in height and would run east to west from the rear of No. 18 Parkside Close to Bealeys Goit, and north to south adjacent to the existing pavilion around the tennis courts to the edge of the existing car park. A pile sheet wall would be constructed from the bund to the edge of the Radcliffe tower site.

The retaining wall near the dwellings on Parkside Close will be offset to enable maintenance and a small walkway would be provided between the property boundaries and the retaining wall.

The existing football pavilion will remain on the dry side of the proposed bund and the existing pitches will be upgraded to ensure that all of the area is playable to maintain the

number of pitches at the site.

An informal walkway will be created for use by the public leading from Dumers Lane, entering Close Park at the north west corner and continuing around the south east perimeter of the park.

Access would be taken from Close Park.

Morris Street - The proposed development involves 340 metres of flood defence measures, which are a combination of flood embankments/bunds (80 metres) and walls (260 metres) to form a barrier to flood water. The route of the flood defences follows a line from the high ground at the end of Morris Street to the rear of No. 74 Dumers Lane.

A T-shaped bund would be constructed at the bottom end of Morris Street. The proposed bund would be 3 metres in height with a path where it connects Morris Street to the existing riverside walkway and 2 metres in height where it runs parallel with the River Irwell.

A sheet pile wall, of varying heights between 1 - 3 metres would be constructed between the proposed bund at Morris Street and the rear of 74 Dumers Lane.

The sheet pile wall would have a concrete coping and would be constructed with bricks on the dry side of the wall, which would face the residential properties on Dumers Lane. Near No. 74 Dumers Lane, a stepped access would be provided to ensure access to the public footpath.

Relevant Planning History

None relevant.

Publicity

The neighbouring properties were notified by means of a letter on 7 December 2018 and a press notice was published in the Bury Times on 13 December 2018.

3 letters have been received from the occupiers of 8, 10 Parkside Close and 55 Riverside Road, which has raised the following issues:

- The proposed works would be very near our house and will cause adverse effects.
- The flood defence walls would be 4 - 6 metres from our garden fence and it is 5 metres in height, which is almost as tall as our house.
- The wall can be used to climb over into our house and garden
- If people walk on the bank, our privacy will be lost.
- We will lose our view of the park.
- Our house will be worth less and rubbish will accumulate in the gap between the wall and our fence.
- Object to the way you proposed to construct the flood defences.
- Obviously the defences need to be in place, but there is alternative solutions.
- We do not want the piles walls near our property.
- I hope serious consideration will be given to an alternative plan and the EA will not dismiss it out of hand.

The objectors have been notified of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

Traffic Section - No objections in principle. Further comments to be reported in the Supplementary Report.

Drainage Section - No response.

Environmental Health - Contaminated Land - No objections, subject to the inclusion of conditions relating to contaminated land and waste management.

Environmental Health - Air Quality No comments.

Public Rights of Way Officer - No objections.

Conservation Officer - No objections.

Sport England - No objections in principle. Further comments to be reported in the Supplementary Report.

Environment Agency - No objections, subject to the inclusion of conditions relating to contaminated land, piling and foundation designs and verification report.

United Utilities - No objections.

inclusion of a condition relating to a method statement to protect assets.

GM Ecology Unit - No objections, subject to the inclusion of conditions relating to bats, otters, nesting birds, invasive species, a construction and environmental management plan and landscaping and ecological plans.

GM Archaeological Advisory Service - No objections, subject to the inclusion of a condition relating to archaeological works.

Historic England - No objections on heritage grounds. Recommend views of GM Archaeological Service are sought on the proposal.

Pre-start Conditions - Agent has not yet agreed with pre-start conditions. Further information will be reported in the Supplementary Report

Unitary Development Plan and Policies

EN1/1	Visual Amenity
EN1	Built Environment
EN1/3	Landscaping Provision
EN2/3	Listed Buildings
EN3/1	Impact of Development on Archaeological Sites
EN3/2	Development Affecting Archaeological Sites
EN3/3	Ancient Monuments
EN5/1	New Development and Flood Risk
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/2	Noise Pollution
EN7/3	Water Pollution
EN8/2	Woodland and Tree Planting
OL1/5	Mineral Extraction and Other Development in the Green Belt
OL5/2	Development in River Valleys
RT1/1	Protection of Recreation Provision in the Urban Area
RT3/4	Recreational Routes
HT2/4	Car Parking and New Development
HT6/2	Pedestrian/Vehicular Conflict
SPD6	Supplementary Planning Document 6: Alterations & Extensions
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle (Green Belt) - The application site at Close Park is located within the Green Belt and River Valley.

Inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances.

Paragraph 144 of the NPPF states that when considering an application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt. 'Very special circumstances' will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations.

Paragraph 146 of the NPPF states that certain forms of development are also not inappropriate in the Green Belt provided they preserve its openness and do not conflict with the purposes of including land within it. These are:

- a. mineral extraction;
- b. engineering operations;
- c. local transport infrastructure which can demonstrate a requirement for a Green Belt location;
- d. the re-use of buildings provided that the buildings are of permanent and substantial construction;
- e. material changes in the use of land (such as changes of use for outdoor sport or recreation, or for cemeteries and burial grounds; and
- f. development brought forward under a Community Right to Build Order or Neighbourhood Development Order.

Policy OL1/5 states that within the Green Belt other development, not including buildings, will be inappropriate unless it maintains openness and does not conflict with the purposes of including land in the Green Belt.

Policy OL5/2 states that within the river valleys, new buildings or the change of use of existing buildings or the change of use of land will not be permitted. The only exceptions considered acceptable will be those where the development would not lead to the division of the open parts of the valleys into sections and it falls within the terms below:

- where the area is designated as Green Belt the established Green Belt policies will apply:
- or
- where the area does not form part of the Green Belt, at least one of the following circumstances is met:
 - that the development represents limited infilling to an established valley settlement or industrial area;
 - that it is an extension to, or renewal of an existing industry, where the economic and employment factors are of overriding importance;
 - that the development is required in association with an outdoor recreation or appropriate tourist facility;
 - that the development is limited and will form part of, and be essential to, the maintenance of the provision and improvement of public services and utilities;
 - any other development that would be appropriate in a Green Belt.

As the site is located in the Green Belt and River Valley, if the proposal would be appropriate in the Green Belt, it would comply with the Policy regarding the river valley. The proposed development would involve the creation of bunds in Close Park to act as a flood defence. As such, the proposed development would be an engineering operation and would be appropriate development within the Green Belt. The proposed bunds would be landscaped and a maximum of 3 metres in height and would be viewed within the setting of dwellings, the pavilion and the park. As such, the proposed development would not have a significant impact upon the openness and character of the Green Belt in terms of height and appearance. Therefore, the proposed development would be in accordance with Policies OL1/5 and OL5/2 of the Bury Unitary Development Plan and the NPPF.

Principle (Recreation) - The application site at Close Park is allocated as protected recreation provision in the Bury UDP.

Paragraph 97 of the NPPF states that existing open space, sports and recreational buildings and land, including playing fields, should not be built on unless:

- a) an assessment has been undertaken which has clearly shown the open space, buildings or land to be surplus to requirements; or
- b) the loss resulting from the proposed development would be replaced by equivalent or better provision in terms of quantity and quality in a suitable location; or
- c) the development is for alternative sports and recreational provision, the benefits of which clearly outweigh the loss of the current or former use.

Policy RT1/1 states that development will not be allowed where it would result in the loss of:

- existing and proposed outdoor public or private recreation facilities, including playing fields, sports grounds, parks and gardens, childrens play areas, allotments and golf courses;
- recreation space within settlements located in the Green Belt;
- indoor facilities for which there is a recreational need;
- any other unidentified recreation provision such as playing fields, sports grounds, parks and gardens, children's play areas, allotments and golf courses, including sites created during the period of the plan.

Exceptions to this policy may be permitted where:

- sports and recreation facilities can best be retained and enhanced through the redevelopment of a small part of the site;
- alternative provision of equivalent community benefit is made available; or
- it can be demonstrated that there is an excess of sports pitch provision and public open space in the area, taking account of the recreation and amenity value of such provision.

The area adjacent to the flood defences in Close Park is currently used by a local football club and contains a number of football pitches of varying sizes. The proposed development would result in the loss of 2,598 square metres of the playable area. There is an area of land to the north of the site, which is currently unplayable due to uneven ground and drainage issues. The proposed development would improve this area and as such, would add 2,828 square metres of playable area into use, which would represent an increase of 230 square metres. As such, the proposed development would provide better facilities in terms of playable area than are currently available through the redevelopment of part of the site.

The works to construct the flood defences are scheduled to take place during the football seasons and as such, the applicant is willing to provide alternative facilities in the form of an adult sized pitch during the period of construction.

The proposed bund would wrap around the existing pavilion, which contains changing facilities and toilets for the club. The Football Association, Sport England and the club had raised concerns that the proposed bund would significantly reduce the natural supervision of children accessing the toilets during a match. As such, the applicant is going to make a contribution to the club to enable them to provide toilets at first floor level, which would be visible and would resolve this issue.

Sport England has no objections in principle to the proposed development and further comments will be reported in the Supplementary Report.

Therefore, the proposed development would result in better provision being made available at this site and would be in accordance with Policy RT1/1 of the Bury Unitary Development Plan and the NPPF.

Design and layout - The proposed development would be a mixture of fencing, bunds and walls, which would act as a barrier and prevent floodwater from causing damage to the residential properties.

Close Park - The proposed wall at the rear of Nos 10 - 30 Parkside Close would be constructed from sheet piles with a concrete coping on the top. The area between the proposed wall and the existing garden fences would be seeded with a wildflower meadow mix. As all of the existing garden fences are 2 metres in height, the majority of the

proposed wall would not be visible and would be screened by the existing fencing. The ground levels on the park side would be raised and planted accordingly and clad with timber. As such, the proposed wall would not be a prominent feature in the locality.

The wall located at the southern boundary of the site would be constructed in masonry facing the graveyard to the church and would be exposed sheet piles on the elevation facing the open land. The proposed development would be acceptable and would not be a prominent feature in the locality.

The remainder of the flood defence would be a grassed bund, which would include a path on the crest. The area of the bund adjacent to the pavilion building would provide a grass terrace to act as informal seating. The provision of a grassed bund would not be a prominent feature in the locality.

Morris Street - The flood defences would consist of a bund from the bottom of Morris Street and Hassall Street and a wall for the remainder of the defence. The proposed bund would be grassed with a path connecting Morris Street to the existing river walkway. The proposed wall would vary between 2 - 3 metres in height and would be exposed on the side facing the river. The stretch of wall at the rear of the commercial buildings would be exposed sheet piles and the remainder would be faced with brick, which would match the existing dwellings. As such, the proposed development would not be a prominent feature in the locality.

Therefore, the proposed development would be in accordance with Policies EN1/2 and EN1/3 of the Bury Unitary Development Plan.

Heritage/archaeology - Sections 66 and 72 of the Town & Country Planning (Listed Buildings & Conservation Areas Act) 1990 imposes a statutory duty upon the Local Planning Authority (LPA) to recognise, positively manage and ensure the preservation or enhancement of Listed Buildings and Conservation Areas.

Chapter 12 of the National Planning Policy Framework (NPPF) sets out the Government's planning policy position in relation to development involving heritage matters. Paras 128 to 141 set out how the significance of listed buildings and Conservation Areas must be considered in relation to development proposals including, but limited to, the judgement of harm, significance, loss to heritage assets (Designated ones and non-designated ones).

There are no heritage assets located near the Morris Street site, but there is a scheduled ancient monument (Radcliffe Tower), and 2 Grade I listed buildings (Radcliffe Tower and St Mary & St Bartholomew church adjacent to the Close Park site).

Archaeological potential - Close park is an area of parkland & recreation and remains largely undeveloped. There is a high potential for surviving archaeological remains of any age. During a programme of archaeological excavations over a twenty year period found in-situ structures, organic remains and associated flint relating to a lake settlement and flint working site. There is also a bronze age barrow that shows ritual use. As such, there is moderate potential for prehistoric finds and monuments.

GM Archaeological Advisory Unit has no objections to the proposed development, subject to a condition relating to archaeological works.

Listed buildings & scheduled monument - Close park is located in close proximity to the Grade I listed buildings of the Church of St Mary and St Bartholomew and Radcliffe Tower.

The tower has historic value and is a rare example of this type of medieval tower house. Tower houses are a type of defensible house that developed in the medieval period from 13 to 16 centuries. The example at Radcliffe is significant as it is one of the furthest south. The building has historical value due to association with the Lord of Radcliffe and the medieval manor reflects the wealth and importance of the family who ranked amongst the most

important in Lancashire. The setting forms an important part of the value of the tower, but is limited in its historic integrity to the immediate surrounding of the scheduled ancient monument and elements associated with the adjacent graveyard and church, which constitute the remains of the manor holdings.

The Church of St Mary and St Bartholomew is a high value asset and has both historical and evidential value. It has association with the de Radcliffe family who owned both the manor and the adjacent tower. Its communal value lies in its continued use as the principal parish church from the medieval period to current day. It has a distinctive square plan and despite a number of periods of later construction and alteration, it has maintained its medieval character and historical importance. Its setting plays an important part to its high value status which continues to be semi-rural. The historical association with Radcliffe tower has been maintained by a tree lined grove created clear inter-visibility between the two assets.

The proposed development would impact upon the setting of the Grade I listed church and tower by the construction of the proposed walls and bunds in Close Park. There would be an impact during construction which relate to noise and visual impacts, but the duration of the work would be short term. There would be an impact from the loss of trees, but this would be mitigated by replacement trees. Overall, the impacts would be neutral.

There would be a permanent impact to the setting of the two Grade I listed buildings from the proposed raised linear defences, which would be located in close proximity to the graveyard. The bunds would be mainly screened by the existing sports pitches and the key aspects of the setting of the church and tower are the connection between each other, which formed the medieval precinct and this would be unaffected by the proposals. In addition, the proposed flood defences would provide flood protection for the Grade I listed church, which was flooded during the floods in 2015.

Historic England and the Conservation Officer have both confirmed that they have no objections to the proposed development. Therefore, subject to conditional control, the proposed development would preserve the setting of the Grade I listed buildings and would be in accordance with Policies EN2, EN2/3, EN3/1, EN3/2 and EN3/3 of the Bury Unitary Development Plan and the NPPF.

Impact upon residential amenity - SPD6 provides guidance on aspect standards between residential properties and as such, would be relevant in this case. The aspect standards states that there should be a minimum of 20 metres between directly facing habitable windows, 13 metres between a habitable room window and a two storey blank wall and 6.5 metres between a habitable room window and a single storey blank wall.

The proposed development would provide a 3 metre high bund and a 2 metre high fence, which would equate to a maximum height of 5 metres. This would be equivalent to a two storey dwelling without the roof and as such, a minimum of 10 metres should be provided between the proposed defences and a habitable room in the residential dwellings.

No. 10 and No. 30 Parkside Close would not have any habitable room windows in the elevation facing the proposed defences. There would be a minimum of 11 metres between the original rear wall of Nos 12 - 28 Parkside Close and the proposed defences, which would be in excess of the 10 metre aspect standard.

Therefore, the proposed development would not have a significant adverse impact upon the amenity of the occupiers of the residential properties.

Noise -

Morris Street - The access to the Morris Street site would be taken from Morris Street and a new access opposite Borough Avenue. It is acknowledge that there would be some adverse impact upon the amenity of the neighbouring residents through noise and disturbance of the 900 lorry movements passing along Morris Street. However, the potential for noise and

disturbance would be mitigated by the restriction of the hours of delivery from 09.00 to 15.00 and the hours of operation from 08.00 to 18.00 Monday to Friday. In addition, the vehicle movements would be complete within a month. As such, it is considered that the wider benefits of the flood defence scheme would outweigh the temporary disturbance to the amenity of the neighbouring properties during construction.

Close Park - The access to Close Park would be taken from Church Green and Close Park access. It is acknowledged that there would be some adverse impact upon the amenity of the neighbouring residents and users of the park through noise and disturbance of the 3700 lorry movements. However, the potential for noise and disturbance would be mitigated by the restriction of the hours of delivery from 09.00 to 15.00 and the hours of operation from 08.00 to 18.00 Monday to Friday. In addition, the works would be complete within 3 months. As such, it is considered that the wider benefits of the flood defence scheme would outweigh the temporary disturbance to the amenity of the neighbouring properties and users of the park during construction.

Flood risk - A flood risk assessment has been submitted as part of the application. The works at Close Park and Morris Street would not impact upon any of the flood defence schemes up stream. The Environment Agency has no objections, subject to the inclusion of conditions relating to contaminated land, piling and foundation designs and verification report. Therefore, the proposed development would not increase flood risk and would be in accordance with Policies EN5 and EN5/1 of the Bury Unitary Development Plan and the NPPF.

Ecology - **Bats** - A bat assessment was carried out and emergence surveys on 2 trees located at Close Park. No evidence of bats was found and the report recommends precautionary measures for any trees assessed as having low of moderate bat roosting potential. No trees at the Morris Street site were assessed as being at risk. GM Ecology Unit (GMEU) has no objections, subject to the inclusion of a condition relating to bats.

Otters - An otter survey was carried out on the River Irwell, but did not include the Close Park section of the river. However, as no works are proposed along or near to the riverbank for this element of the project, this is acceptable. Evidence of otters was found downstream of Hardy Gate Bridge, but no holts were found and no field signs were found. The report concludes that otters had recently passed through this section of the river and therefore precautionary measures were required. GMEU agree with the findings of the report and recommend a condition.

Nesting birds - The development would result in the removal of bird nesting habitat. GMEU has no objections, subject to the inclusion of a condition relating to nesting birds.

Invasive species - Japanese Knotweed, Himalayan Balsam and Giant Hogweed are present within the development sites. GMEU has no objections subject to a condition relating to a method statement for eradicating Japanese Knotweed, Himalayan Balsam and Giant Hogweed.

Overall, the proposed development would not cause harm to the protected species and GMEU has no objections, subject to the inclusion of conditions. Therefore, the proposed development would be in accordance with Policies EN6 and EN6/3 of the Bury Unitary Development Plan.

Trees - The proposed development would involve the removal of trees on both sites to facilitate the proposed development. All of the trees on site were surveyed and there are some good quality trees (15 individual and 1 group), but the majority are of poor quality (12 trees and 12 groups).

The proposed development would result in the removal of 12 individual trees and 1 group of good quality trees and 12 individual trees and 12 groups of poor quality trees. It is acknowledged that this a lot of trees to be removed, but the trees are located within the

flood defence measures. However, the applicant will plant 5 trees for every 1 removed and where possible existing trees will be transplanted. A condition securing this would be included on any grant of planning permission. Therefore, the proposed development would not impact upon the character of the area significantly and would be in accordance with Policy EN8/2 of the Bury Unitary Development Plan.

Highways issues - Morris Street site - The main access to this site will be from Morris Street and would be used for the earthworks materials and general construction traffic. A secondary access for the sheet piling works will be via Dumers lane through the Irwell Bank Business Park access and a temporary access will be created opposite Borough Avenue. It is envisaged that there would be 900 movements over a single month. The vehicle movements would take place outside of the peak hours between 09.00 and 15.00 and would equate to 4 - 6 movements per hour. There would be adequate visibility at these junctions. The Traffic Section has no objections, subject to the inclusion of conditions relating to

Close park - The access to Close Park would be via the car park from Church Green and would be used for the earthworks materials and general construction traffic. It is envisaged that there would be 3700 vehicle movements over a 3 month period. The vehicle movements would take place outside of the peak hours between 09.00 and 15.00 and would equate to 4 - 6 movements per hour. A separate pedestrian access would be created and the details would be secured by a condition. There would be acceptable levels of visibility at the junction with Church Green, Dumers Lane and Bury Street.

The Traffic Section has no objections in principle to the proposed development and further comments will be reported in the Supplementary Report.

Response to objectors

- The issues relating to noise during construction, privacy and loss of light have been assessed in the report above.
- The impact upon property prices and a loss of view are not material planning considerations and cannot be taken into consideration.
- The alternative solution proposed would reduce the amount of playing area available and as such, would not be supported by Sport England and has been discounted.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during pre-application discussions to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered
ENV0000389C-MMD-DZ-00-DR-T-0213180,
ENV0000389C-MMD-DZ-CP-DR-T-0213183,

ENV000389C-MMD-DZ-CP-DR-S-0213220 P01,
 ENV000389C-MMD-DZ-DL-DR-T-0213209 P01.1,
 ENV000389C-MMD-DZ-CP-DR-T-02132,
 ENV000389C-MMD-DZ-CP-DR-S-0213222 P01,
 ENV000389C-MMD-DZ-CP-DR-L-0213195 P01,
 ENV000389C-MMD-DZ-CP-DR-S-0213223 P01,
 ENV000389C-MMD-DZ-DL-DR-T-0213206, P01.1,
 ENV000389C-MMD-DZ-DL-DR-T-0213207 P01.1,
 ENV000389C-MMD-DZ-DL-DR-T-0213208 P01.1,
 ENV000389C-MMD-DZ-CP-DR-S-0213221, P01,
 ENV000389C-MMD-DZ-CP-DR-C-0213204 P02,
 ENV000389C-MMD-DZ-DL-DR-T-0213182 P01,
 ENV000389C-MMD-DZ-00-DR-L-0307008 P03,
 ENV000389C-MMD-DZ-00-DR-L-0307009 P03,
 ENV000689C-MMD-DZ-CP-DR-L-0213262 P03, Temporary access and compound locations and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. Where during any works on site, unforeseen contamination is suspected or found, or contamination is caused, works on the site shall cease and the Local Planning Authority shall be notified immediately. The developer shall then produce a risk assessment and submit remediation proposals, if required, for approval to the Local Planning Authority. On approval of the remediation strategy, the development shall then be carried out in accordance with the approved details and process including any required timescales.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

4. The removal of any trees at Close Park, assessed as having low or moderate bat roosting potential as detailed in the Technical Note - Scheme for Bat Tree Potential Roost Assessment (PRA), Mott Macdonald dated 4th December 2018 as already submitted with the planning application and agreed in principle with the LPA prior to determination, shall be soft felled as detailed in the second bullet of section 4 of this report.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.

5. The development off Morris Street shall be carried out in accordance with the recommendations of the Radcliffe and Redvales - Phase 2 Protected Species Survey Technical Note - Otters Mott MacDonald dated 4th December 2018 Section 4, relevant to this section of the River as already submitted with the planning application and agreed in principle with the Local Planning Authority prior to determination.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.

6. No works to trees or shrubs shall occur between the 1st March and 31st August in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 - Conservation of the Natural Environment and EN6/3 - Features of Ecological Value of the Bury Unitary Development Plan and National

7. Prior to any earthworks a method statement detailing eradication and/or control and/or avoidance measures for himalayan balsam, japanese knotweed and giant hogweed should be submitted to and approved in writing by the Local Planning Authority. The agreed method statement shall be adhered to and implemented in full
Reason. The scheme does not provide full details of the actual extent of Japanese Knotweed and Himalayan Balsam in the interest of UDP Policy EN9 - Landscape and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

9. The landscaping schemes for Close Park and Morris Street hereby approved shall be implemented not later than 12 months from the date the building(s) is first occupied. Any trees or shrubs removed, dying or becoming severely damaged or becoming seriously diseased within 5 years of planting shall be replaced by trees or shrubs of a similar size and species to those originally required to be planted to the written satisfaction of the Local Planning Authority.
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

10.
 - A phased programme of archaeological fieldwork shall be carried out and shall include:
 - archaeological evaluation trenching at Close Park
 - dependent on the above, targeted further excavation
 - Should Tower Street be selected as the approved access route for the development, an approved scheme that minimises impact upon the Scheduled Monument should be agreed in consultation with GMAAS and Historic England
 - A programme for post investigation assessment to include:
 - analysis of the site investigation records and finds
 - production of a final report
 - Provision for dissemination of the results of the investigations commensurate with their significance.
 - A scheme for community engagement
 - Provision for archive deposition of the report, finds and records of the site investigation.
 - Nomination of a competent person or persons/organisation to undertake the programme set-out within the approved WSIs.Reason. To make a record of buildings and features of archaeological interest pursuant to policies EN3/1 – Impact of Development on Archaeological Sites, EN3/2 – Development Affecting Archaeological Sites and EN3/3 – Ancient Monuments of the Bury Unitary Development Plan.

11. Piling or any other foundation designs using penetrative methods shall not be permitted other than with the express written consent of the local planning authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to groundwater. The development shall be carried out in accordance with the approved details.
Reason. To ensure that the development does not contribute to, or is not put at unacceptable risk from/adversely affected by, unacceptable levels of water pollution in line with paragraph 170 of the National Planning Policy Framework.

12. The development shall not be considered complete until a verification report demonstrating completion of works set out in the approved remediation strategy and the effectiveness of the remediation shall be submitted to and approved in writing, by the local planning authority. The report shall include results of sampling

and monitoring carried out in accordance with the approved verification plan to demonstrate that the site remediation criteria have been met. It shall also include any plan (a "long-term monitoring and maintenance plan") for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action, as identified in the verification plan. The long-term monitoring and maintenance plan shall be implemented as approved.

Reason: To ensure that the development does not contribute to, or is not put at unacceptable risk from/adversely affected by, unacceptable levels of water pollution in line with paragraph 170 of the National Planning Policy Framework.

13. Within 1 month of the date of decision, a scheme for the provision of facilities to deal with the safeguarding issue shall be submitted to and approved in writing by the Local Planning Authority.

The approved details shall be implemented in accordance with a timetable to be agreed in writing with the Local Planning Authority.

Reason: To ensure that the sports facilities are fit for purpose and to accord with Policy RT1/1 - Protection of Recreation Provision in the Urban Area of the Bury Unitary Development Plan and paragraph 97 of the NPPF.

14. No development shall commence until the following document has been submitted to and approved in writing by the Local Planning Authority after consultation with Sport England:

- A detailed Scheme for the replacement playing field shown shaded green on drawing ENV0000389C-MMD-DZ-CP-DR-L-0213262 and based on the recommendations of the Agronomy Report prepared by PSD Agronomy dated 21st December 2018. The Scheme shall include a written specification and plans of the proposed soils structure, proposed drainage, reinstatement of the areas shown on plan 'Temporary Access and Compound Locations', cultivation and other operations associated with grass and sports turf establishment and a programme of implementation and maintenance.
- Within 3 months of the establishment of the replacement playing field or start of the first football season after establishment, whichever is sooner, the football pitches shall be reinstated in accordance with the Football Association recommended dimensions and run off areas, and after consultation with Sport England.
- The approved Scheme shall be carried out in full and in accordance with the approved programme of implementation. The land shall thereafter be maintained in accordance with the Scheme and made available for playing field use in accordance with the Scheme.

Reason: To ensure that the playing field is prepared to an adequate standard and is fit for purpose and to accord with Policy RT1/1 - Protection of Recreation Provision in the Urban Area of the Bury Unitary Development Plan and paragraph 97 of the NPPF.

15. No development shall commence until a scheme to ensure either:

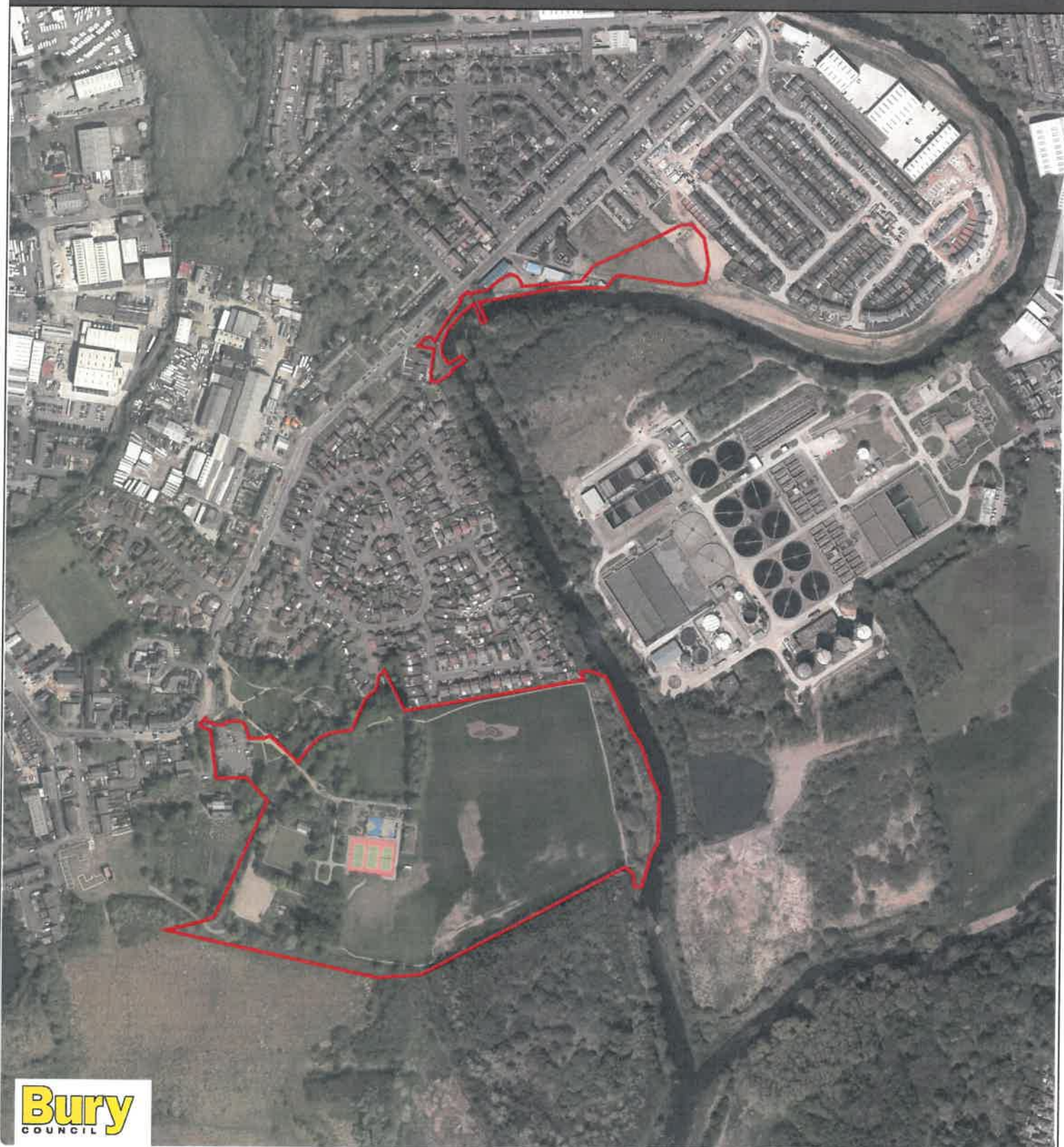
- the continuity of the existing sports use of the playing fields and pavilion shown on Drawing No. ENV0000389C-MMD-00-DR-L 0307008; or
- the provision of replacement facilities during construction works has been submitted to and approved in writing by the Local Planning Authority after consultation with Sport England. The scheme must set out details of the size, location, type and make-up of the facilities or replacement facilities (as appropriate) together with arrangements for access. The scheme must include a timetable for the provision of the facilities or replacement facilities (as appropriate). The approved scheme shall be implemented and complied with in full throughout the carrying out of the development.

Reason: To protect playing fields/sports facilities from damage, loss or availability of use during the construction of the development and to accord with Policy RT1/1

- Protection of Recreation Provision in the Urban Area of the Bury Unitary Development Plan and paragraph 97 of the NPPF.

16. No development shall commence until details of the design and layout of the equipment container have been submitted to and approved in writing by the Local Planning Authority after consultation with Sport England. The equipment container shall not be constructed other than in accordance with the approved details.
Reason: To ensure the development is fit for purpose and sustainable and to accord with Policy RT1/1 - Protection of Recreation Provision in the Urban Area of the Bury Unitary Development Plan and paragraph 97 of the NPPF.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**



Production Date: 11 Mar 2019

Scale 5500

when printed at A4

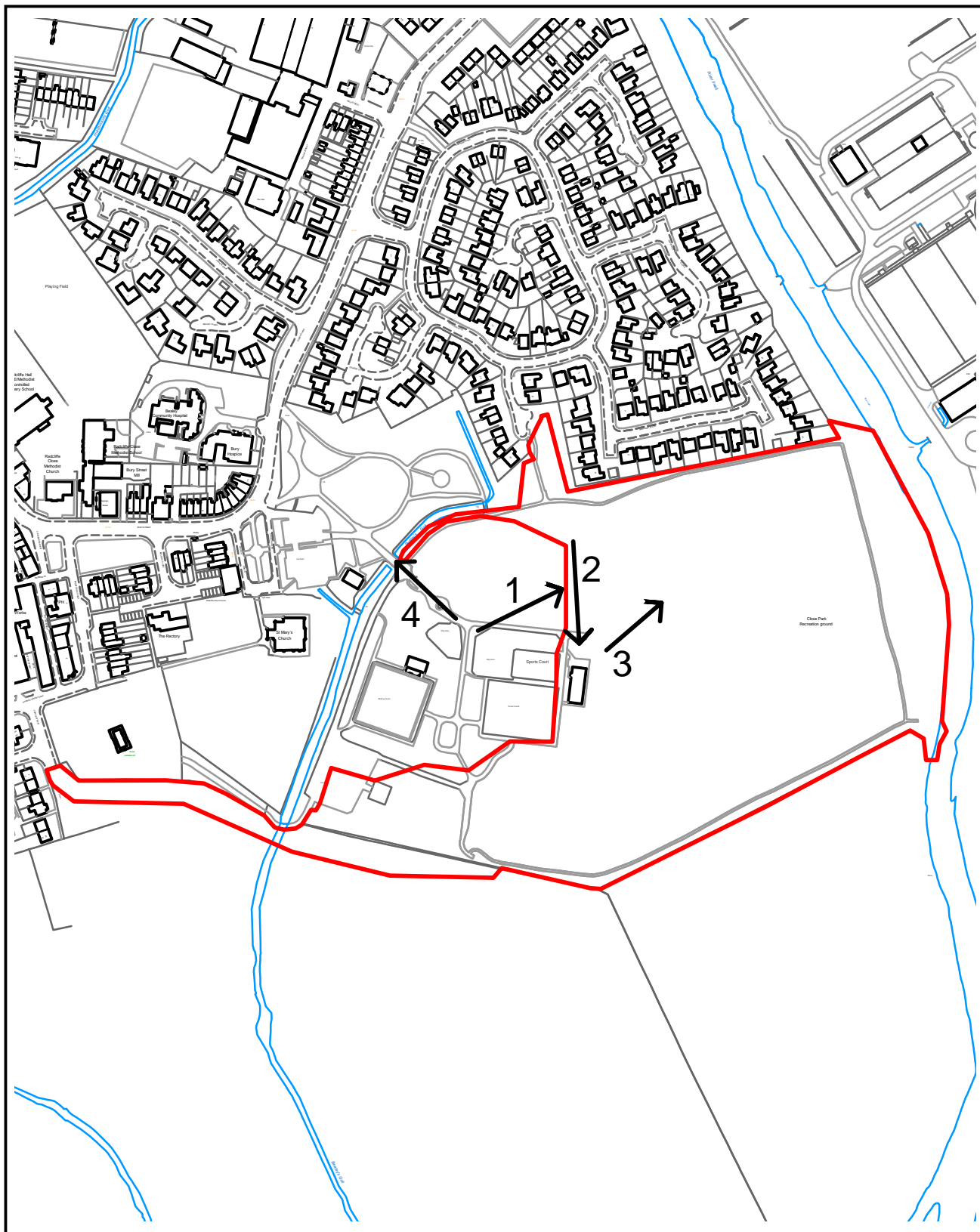
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Notes

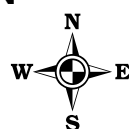
Viewpoints 1-4



PLANNING APPLICATION LOCATION PLAN

APP. NO 63559

ADDRESS: Close Park
Radcliffe

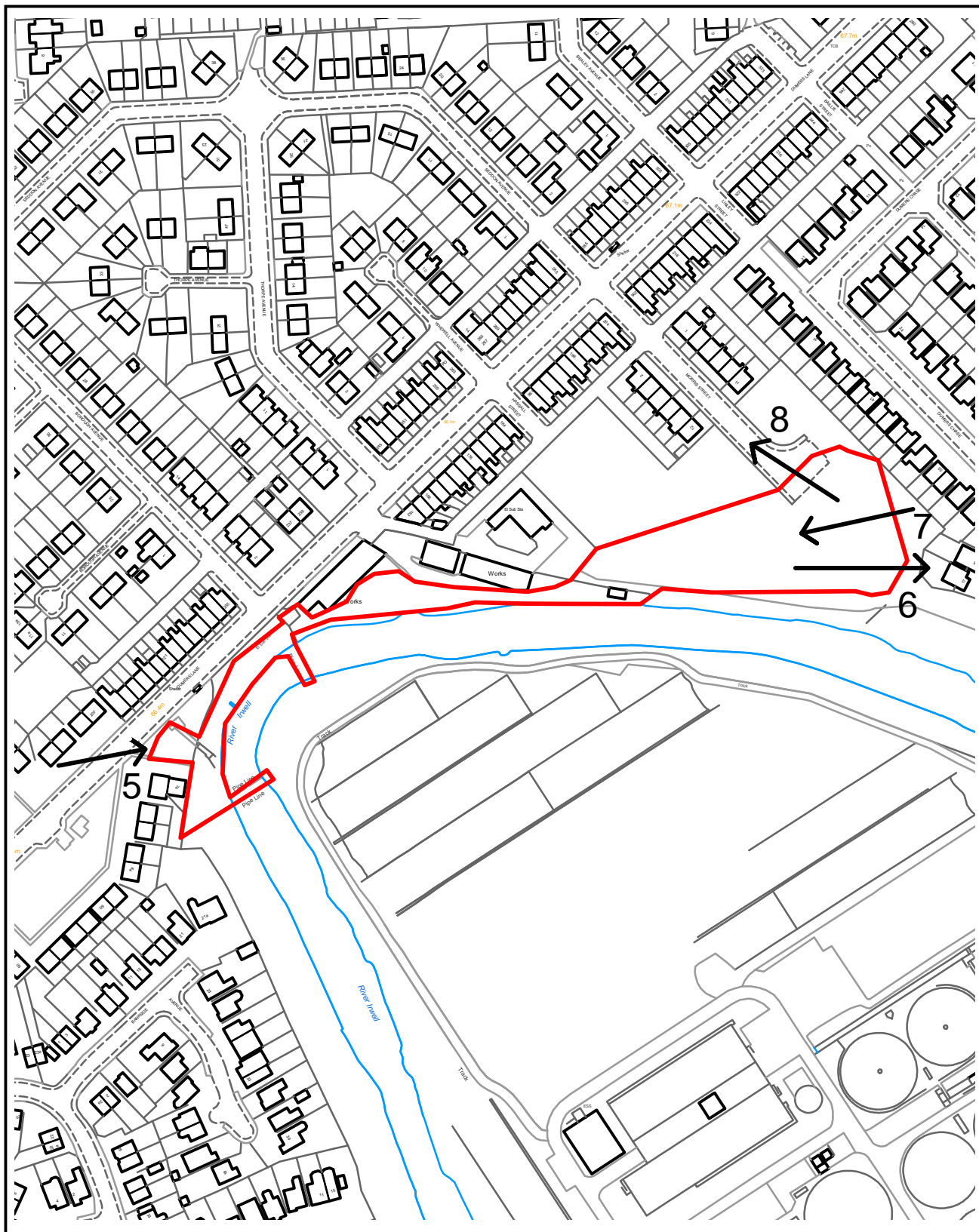


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Viewpoints 5-8



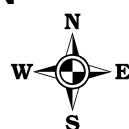
PLANNING APPLICATION LOCATION PLAN

APP. NO 63559

**ADDRESS: Morris Street
Radcliffe**

Planning, Environmental and Regulatory Services

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63559

Photo 1



Photo 2



63559

Photo 3



Photo 4



63559

Photo 5



Photo 6



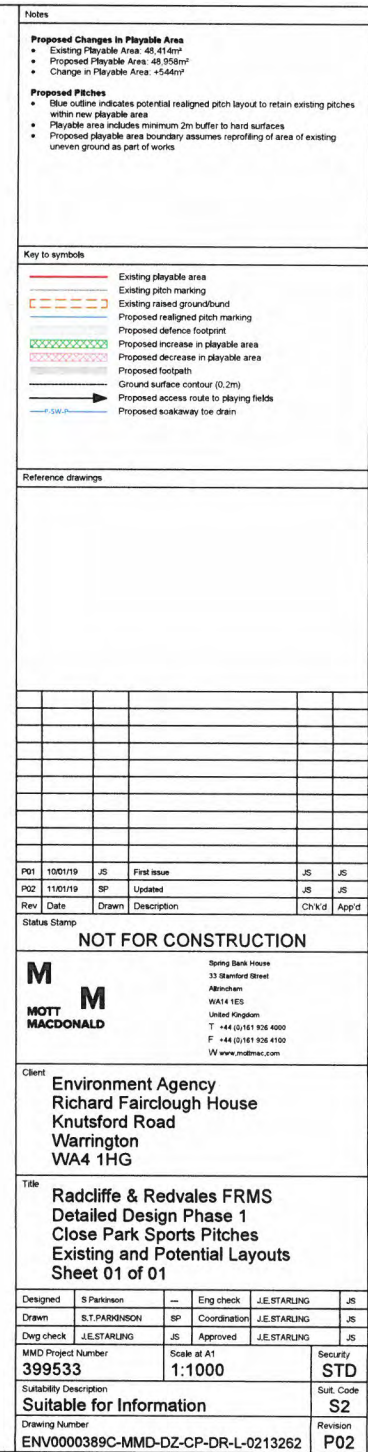
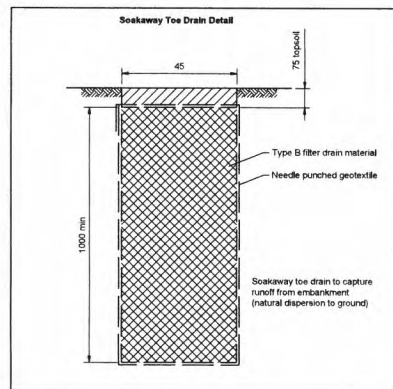
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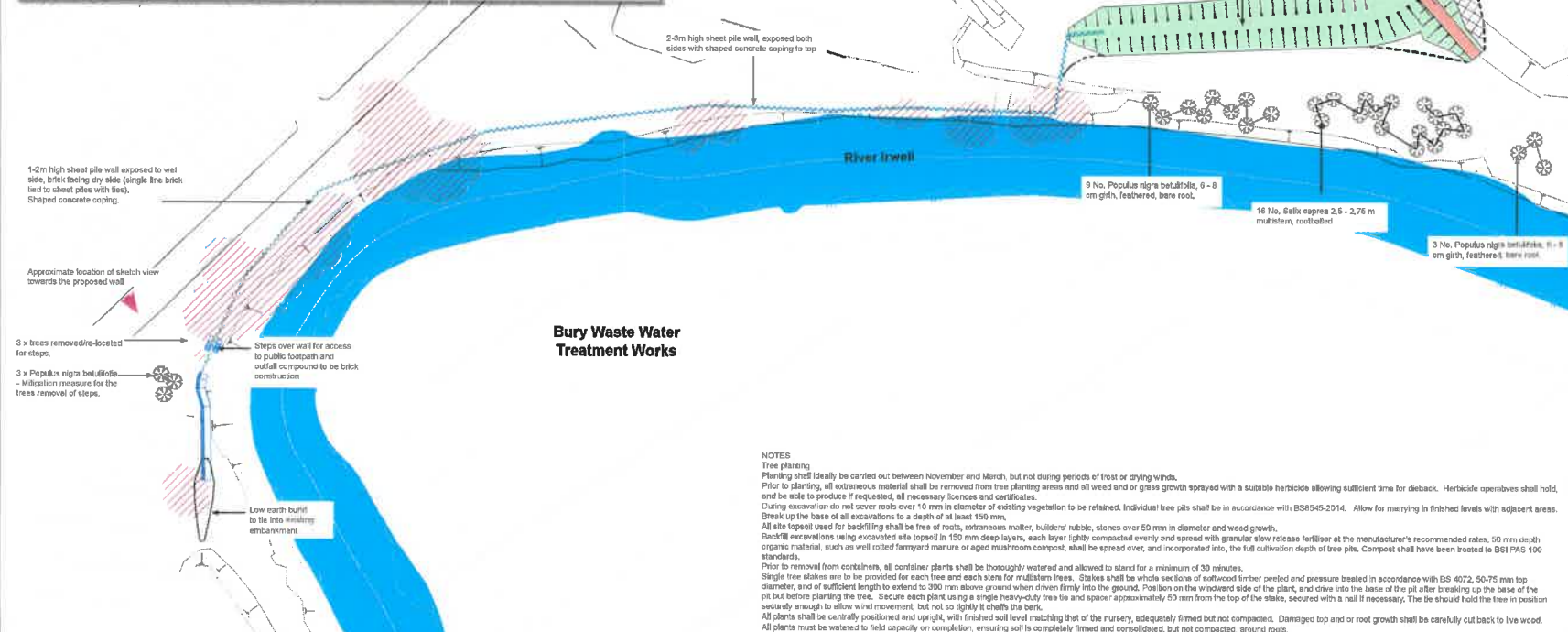
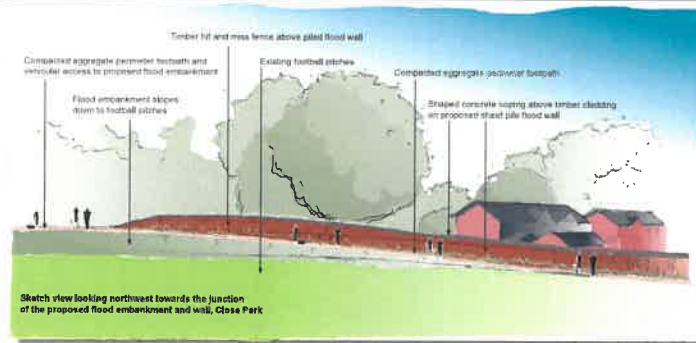
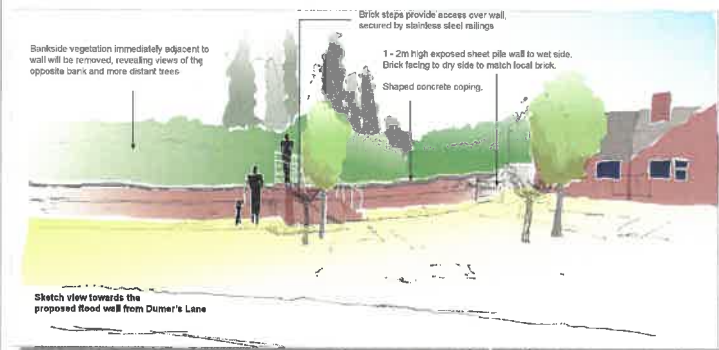
Photo 7



Photo 8







NOTES

Tree planting
Planting shall ideally be carried out between November and March, but not during periods of frost or drying winds.
Prior to planting, all extraneous material shall be removed from tree planting areas and all weed and/or grass growth sprayed with a suitable herbicide allowing sufficient time for desiccation. Herbicide operatives shall hold, and be able to produce if requested, all necessary licences and certificates.
During excavation do not sever roots over 10 mm in diameter of existing vegetation to be retained. Individual tree pits shall be in accordance with BS8545:2014. Allow for manuring in finished levels with adjacent areas.
Break up the base of all excavations to a depth of at least 150 mm.
All site topsoil used for backfilling shall be free of roots, extraneous matter, builders' rubble, stones over 50 mm in diameter and weed growth.
Backfill excavations using excavated site topsoil in 150 mm deep layers, each layer lightly compacted evenly and spread with granular slow release fertiliser at the manufacturer's recommended rates. 50 mm depth organic material, such as well rotted farmyard manure or aged mushroom compost, shall be spread over, and incorporated into, the full cultivation depth of tree pits. Compost shall have been treated to BS1 PAS 100 standards.
Prior to removal from containers, all container plants shall be thoroughly watered and allowed to stand for a minimum of 30 minutes.
Single tree stakes are to be provided for each tree and each stem for multistem trees. Stakes shall be whole sections of softwood timber peeled and pressure treated in accordance with BS 4072, 50-75 mm top diameter, and of sufficient length to extend to 300 mm above ground when driven firmly into the ground. Position on the windward side of the plant, and drive into the base of the pit after breaking up the base of the pit but before planting the tree. Secure each plant using a single heavy-duty tree tie and spacer approximately 50 mm from the top of the stake, secured with a nail if necessary. The tie should hold the tree in position securely enough to allow wind movement, but not so tightly it chafes the bark.
All plants shall be centrally positioned and upright, with finished soil level matching that of the nursery, adequately firmed but not compacted. Damaged top and/or root growth shall be carefully cut back to live wood.
All plants must be watered to field capacity on completion, ensuring soil is completely firmed and consolidated, but not compacted, around roots.

Notes																									
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Key to symbols																									
 Building line to be retained Building line to be removed Proposed path access Proposed flood wall Proposed access steps Proposed embankment	 Retained embankment Proposed embankment Still embankment Proposed embankment																								
Reference drawings																									
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See drawings for dimensions and quantities: ENV000389C-MMD-DZ-00-DR-L-0307005-01A1																									
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P01	16/11/18	HW	First issue	MS	JS																				
Status Stamp <div style="display: flex; justify-content: space-between;"> <div> NOT FOR CONSTRUCTION MOTT MACDONALD </div> <div> Spring Bank House 33 Stamford Street Abingdon OX14 1SD United Kingdom T +44 (0)1235 400 400 F +44 (0)1235 400 400 www.mottmac.com </div> </div>																									
Client Environment Agency Richard Fairclough House Knutsford Road Warrington WA4 1HG																									
Title Raddiffe & Redvales FRMS Phase 1 - Detailed Design Dumers Lane Final Landscape Masterplan Sheet 01 of 01																									
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Revision P03																									

Ward: Whitefield + Unsworth - Pilkington Park

Item 02

Applicant: McDonald's Restaurants Ltd

Location: McDonald's Restaurant, 103 Bury New Road, Whitefield, Manchester, M45 7EG

Proposal: Alterations to elevations to include the construction of extensions totalling 52.9m² and new cladding to roof and an additional drive thru booth. New shop front glazing, relocated entrance and new boundary fencing. The reconfiguration of the drive thru lane to provide side by side ordering and associated works to the site with new and relocated signage including fascia signage.

Application Ref: 63597/Full

Target Date: 11/02/2019

Recommendation: Approve with Conditions

Description

The application site forms part of the Whitefield District Shopping Centre. There are three buildings on site - the McDonalds restaurant, the Aldi foodstore and a terrace of commercial properties with residential accommodation above. The McDonalds restaurant is single storey with a mansard roof and is constructed from red/brown brick. The site is accessed from Higher Lane, via Fountains Place and there are a series of car parks, with 132 spaces in total serving the centre.

There are commercial properties and a restaurant to the north and Bury New Road forms the boundary to the east with residential and commercial properties beyond. There are residential dwellings and a nursery to the south and residential properties to the west.

The proposed development consists of the following elements;

- extensions to the main restaurant on northern, eastern and western elevations.
- new cladding to the roof
- an additional 'drive thru' booth
- new shop front glazing
- relocated entrance
- new boundary fencing
- reconfiguration of the 'drive thru' lanes to provide side by side ordering.

Relevant Planning History

51778 - Refurbishment of restaurant and patio area at McDonalds Restaurant, 103 Bury New Road, Whitefield. Approved with conditions - 6 November 2009.

53964 - Installation of walk up window on drive thru elevation at McDonalds Restaurant, 103 Bury New Road, Whitefield. Approved with conditions - 7 June 2011.

63598 - Reconfiguration of drive thru lane to provide side by side ordering incorporating new island for signage and associated works to the site; Installation of 2 no. new customer order displays and the relocation of the existing goal post style height restrictor with new and relocated fascia signage; Installation of 4 no. new fascia signs and relocation of 3 no. existing fascia signs at McDonalds Restaurant, 103 Bury New Road, Whitefield. Received - 17 December 2018 - Undecided

63599 - Installation of 10 no. signs to accommodate the new drive thru layout; suite to comprise: 7 no. freestanding signs, 2 no. banner signs and 1 no. side by side directional sign (7 no. internally illuminated signs and 3 no. non-illuminated signs) at McDonalds

Restaurant, 103 Bury New Road, Whitefield. Received - 17 December 2018 - Undecided.

63600 - Installation of 1 no. new internally illuminated box display unit and relocation of 1 no. existing internally illuminated box display unit on existing pole sign at McDonalds Restaurant, 103 Bury New Road, Whitefield. Received - 17 December 2018 - Undecided.

ADJACENT SITE

48879 - Extension to existing food store and alterations to car parking provision and external alterations to elevations at Aldi Store, Higher Lane, Whitefield. Approved with conditions - 19 December 2007

62751 - Demolition of 34-36 Fountain Place and the extension of existing car park at 34 - 36 Fountain Place & Aldi Foodstore, Higher Lane, Whitefield. Approved with conditions - 19 June 2018

63212 - Partial demolition of existing structures and erection of replacement Class A1 foodstore with associated access, car parking, servicing and hard and soft landscaping at Aldi Foodstore, Higher Lane, Whitefield. Received - 31 August 2018.

63636 - Demolition of food store and retail terrace. Erection of replacement Class A1 foodstore with associated access, car parking, servicing and hard and soft landscaping at Aldi Foodstore, Higher Lane, Whitefield. Received - 24 December 2018.

Publicity

The neighbouring properties were notified by means of a letter on 21 December 2018 and site notices were posted on 3 January 2019.

5 letters have been received from the occupiers of 81, 89 and 93 Bury New Road, which have raised the following issues:

- This site creates a lot of litter and increased use will lead to more litter.
- The site creates noise pollution through traffic, car horns and the communication system.
- Increased air pollution as cars idle while in the queue.
- Increased noise during the day and night. The fact that the ordering points are being moved will not reduce the noise.
- Bins are emptied at anti-social hours in the morning.

The objectors have been notified of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

Traffic Section - No objections in principle and further comments will be reported in the Supplementary Report.

Pre-start Conditions - Agent has not yet agreed with pre-start conditions. Further information will be reported in the Supplementary Report.

Unitary Development Plan and Policies

EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN7	Pollution Control
EN7/2	Noise Pollution
S1/3	Shopping in District Centres
S2/6	Food and Drink
HT2/4	Car Parking and New Development
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - The building is currently used as a hot food restaurant with a drive through facility and this would not change. As such, the principle of the use is established.

Visual amenity - The proposed extensions would all sit below the existing roof and would be constructed from matching materials. As such, the proposed extensions would be viewed against the existing building and would not be prominent within the streetscape. The existing yard area, which is fenced at the rear would be extended over the existing hardstanding to measure 8.3 metres by 4.6 metres and would be enclosed in khaki coloured timber fencing, which would match the materials for the proposed building.

The proposed development includes an alteration to the roofing material, which would be khaki green aluminum composite panelling with a timber effect aluminium louver slats and the existing collection booths would be clad in grey aluminium cladding. The proposed materials would not impact upon the character of the building and would be appropriate. Therefore, the proposed development would not be a prominent feature in the streetscene and would be in accordance with Policy EN1/2 of the Bury Unitary Development Plan.

Residential amenity - Currently, the ordering points for the 'drive thru' are located on the southern elevation. The proposed development would relocate the ordering points to the eastern elevation and these would be some 22.7 metres from the nearest residential property. The collection points would all be located on the western elevation and would be 27 metres from the nearest residential property.

Whilst the proposed development would increase the capacity at the site, the proposed development, through the addition of a third collection booth, would ensure that the traffic flow through the site would be more efficient. In addition, the proposed development would remove the circulation lane, which is adjacent to the residential properties, which would reduce noise levels. The increase in traffic would likely result in a small increase in noise overall, however, given the background noise from traffic on the adjacent A56 and the separation distance to the residential properties is 22 metres to the ordering point and 14 metres to the access, the proposed development would not have a significant adverse impact in terms of noise upon the occupiers of the neighbouring properties. The applicant has provided details of a litter patrol plan and mitigation measures to deal with the noise, which would mitigate any adverse impacts and would be secured by a condition. Therefore, the proposed development would comply with Policy EN7/2 of the Bury Unitary Development Plan.

Parking - SPD11 states that the maximum parking standards for A1 (food retail) is 1 space per 16 square metres of floorspace and for a hot food takeaway is 1 space per 8.5 square metres of floorspace. This would equate to 112 spaces for the proposed retail unit and 54 spaces for the hot food takeaway (166 in total).

The proposed development would provide 130 spaces, including 8 disabled bays and 10 'parent and child' spaces. The proposed development is located in close proximity to public transport and as such, the level of parking provision would be acceptable. Therefore, the proposed development would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

Response to objectors

The issues raised by the objectors have been addressed in the report above.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

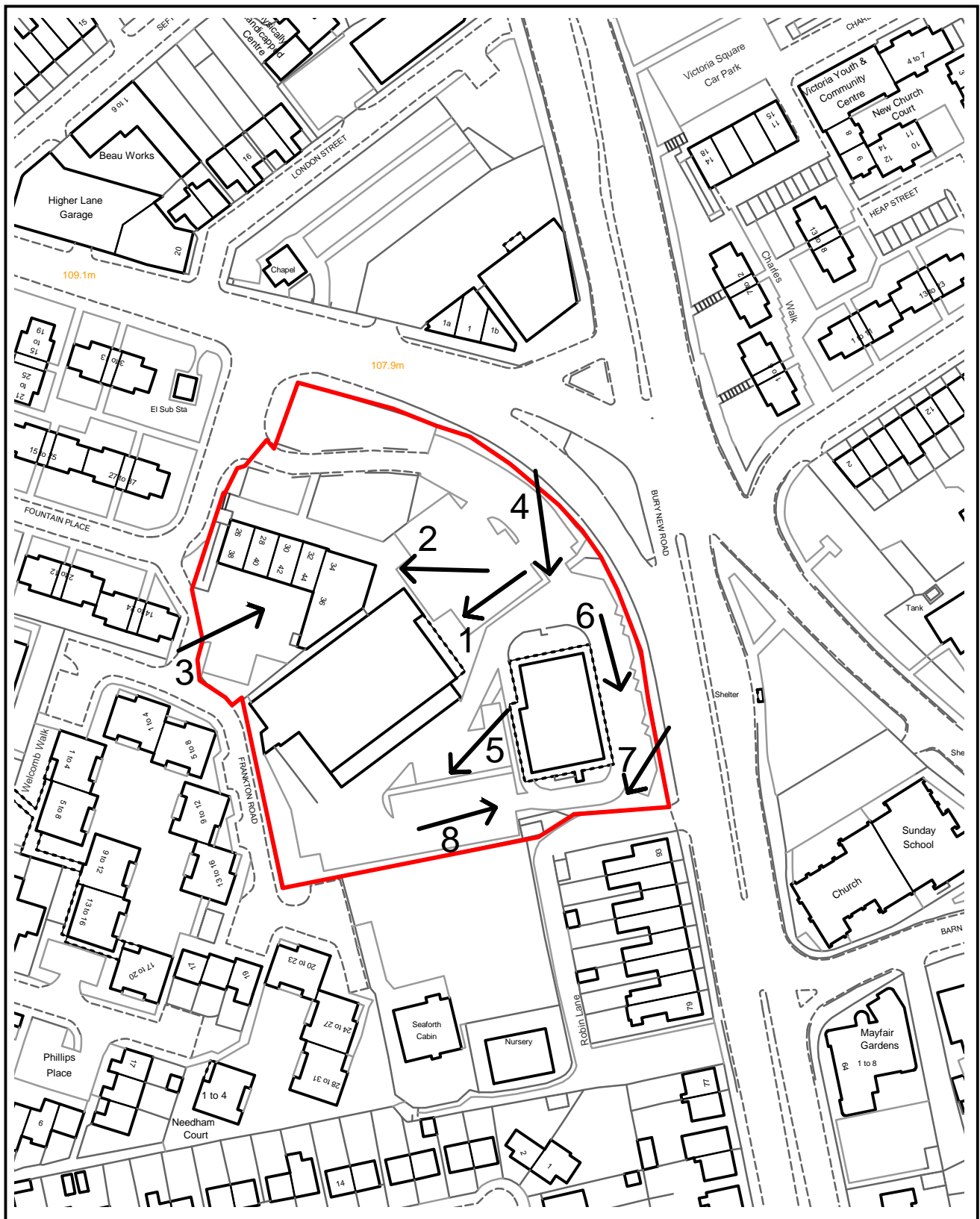
Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 7086-AEW-0406-2001 C, 7086-AEW-0409-2002 D, 7086-AEW-0409-2004 D, 7086-AEW-0409-2010, 7086-AEW-0409-0005 E, 7086-AEW-0409-0150 G, McD/043/2013 A and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The external finishing materials for the proposal hereby approved shall match those of the existing building.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
4. No external lighting shall be erected at the site unless or until a scheme for baffling has been submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full and maintained thereafter.
Reason. In the interests of residential amenity pursuant to Policy EN7 - Pollution Control of the Bury Unitary Development Plan.
5. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the extensions hereby approved being first brought into use.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
6. The development hereby approved shall be carried out in accordance with the litter patrol plan and the noise mitigation measures, received on 15 March 2019.
Reason. In the interests of amenity pursuant to Policies S2/6 – Food and Drink and EN7/2 - Noise Pollution of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 63597

**ADDRESS: McDonalds
Bury New Road
Whitefield**

Planning, Environmental and Regulatory Services



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63597

Photo 1



Photo 2



63597

Photo 3



Photo 4



63597

Photo 5



Photo 6



63597

Photo 7



Photo 8





BASE LAYOUT PROPOSED
BY OTHERS ON SEPARATE
APPLICATION.

NEW PROPOSED DRIVE

IND. NEW LIGHT FIX
& DROP LINES
NEW TARMAC TO CARPARK
BY OTHERS
NEW WASTE LINES IN WHITE
THERMOPLASTIC (ANALOG 1)
CAR PARK

RELOCATED LAMP POST
NEW KERB AND BLOCK
PAVING TO MATCH EXISTING
RELOCATED CITY POLE

NEW KNEE WALL
IND. NEW TELESCOPIC
BOLLARD

ALL EXISTING LAMP POSTS TO BE
RELOCATED TO LED WITHIN DEMISE
BOUNDARY

CITY TO ADVISE MINIMUM
DISTANCE FROM ELECTRICAL
BOX TO DRIVE THRU LANE

MCDONALD'S RESTAURANT
#0409 WHITEFIELD

0 1 2 3 4 5m
Scale: 1:100

PROPOSED SITE PLAN 1:100

IND. RELOCATED INSURANCE SHED TO BE
PAINTED GRAY (CENTRAL) AND TO BE
USED WITH BUTTERFLIES ON NEW BUTTERFLIES TO
PROVIDE FROM PRIVATE WORKS AT OTHER
(SIC - AC TO CO-ORDINATE)

NEW REMAINING WALL TO MATCH EXISTING - TO BE
DETACHED BY APPROX. 10m WITH TARMAC WOODS TO
ADJOIN TO PUBLIC FOOTPATH WITH NEW SLA PAVING
- LEVEL THERMOPLASTIC TO BE ACHIEVED BY ANCHOR OF
NEW & OLD TARMAC

Motorcycle
spaces (x4)

NOTES

- 1. All work shall be done in accordance with the following:
- 2. All work shall be done in accordance with the following:
- 3. All work shall be done in accordance with the following:
- 4. All work shall be done in accordance with the following:
- 5. All work shall be done in accordance with the following:
- 6. All work shall be done in accordance with the following:
- 7. All work shall be done in accordance with the following:
- 8. All work shall be done in accordance with the following:
- 9. All work shall be done in accordance with the following:
- 10. All work shall be done in accordance with the following:

EXISTING PROPOSED SCHEDULE OF PAVING	
EXISTING DRIVEWAY	1
EXISTING CARPARK	2
EXISTING FOOTPATH	3
EXISTING TARMAC	4

PROPOSED SCHEDULE OF PAVING TO FULL SITE	
PROPOSED DRIVEWAY	1
PROPOSED CARPARK	2
PROPOSED FOOTPATH	3
PROPOSED TARMAC	4

SCHEDULE OF WORK	
PROPOSED DRIVEWAY	1
PROPOSED CARPARK	2
PROPOSED FOOTPATH	3
PROPOSED TARMAC	4

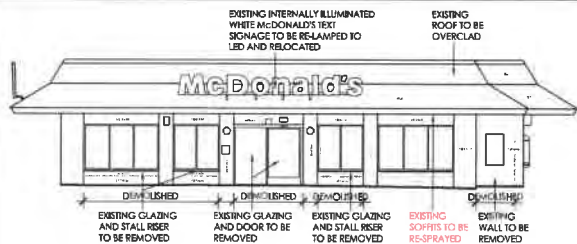
PROPOSED NEW DRIVE	
NEW DRIVE	1
NEW DRIVEWAY	2
NEW DRIVEWAY	3
NEW DRIVEWAY	4

NOTE	
All Drainage & services to be checked by others.	
DRIVE THRU: CAR SCHEME ONLY	
COLOR CODE	
NEW DRIVEWAY	1
NEW DRIVEWAY	2
NEW DRIVEWAY	3
NEW DRIVEWAY	4

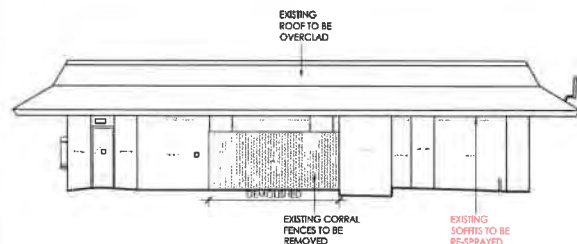
PHASE 2 SCOPE OF WORKS REQUIRING PLANNING	
FAST FORWARD LANES	
PATIO EXTENSION	
CAR PARK LAYOUT	

PLANNING

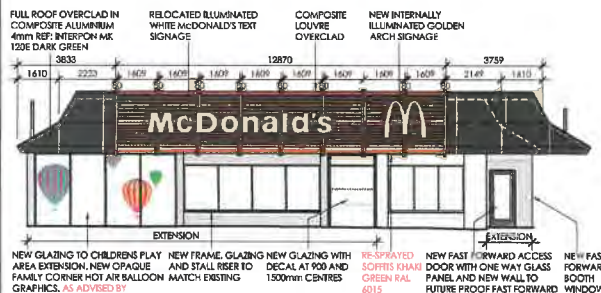
McDonald's Restaurants Ltd	
WHITEFIELD	0409
PROPOSED NEW DRIVEWAY	0409
PROPOSED NEW DRIVEWAY	0409
PROPOSED NEW DRIVEWAY	0409
PROPOSED NEW DRIVEWAY	0409



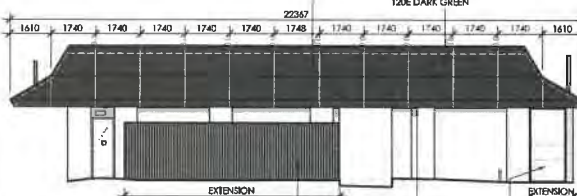
EXISTING ELEVATION A



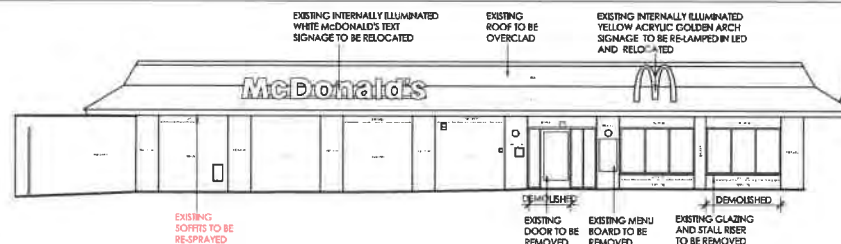
EXISTING ELEVATION C



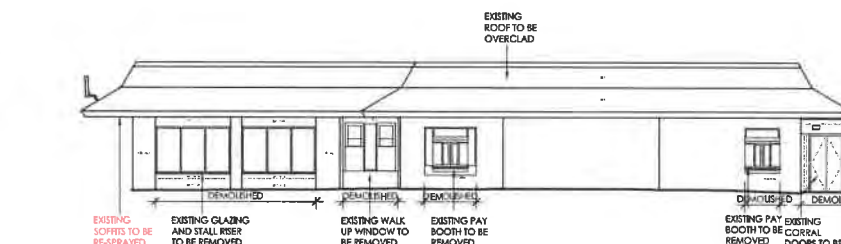
PROPOSED ELEVATION A



PROPOSED ELEVATION C



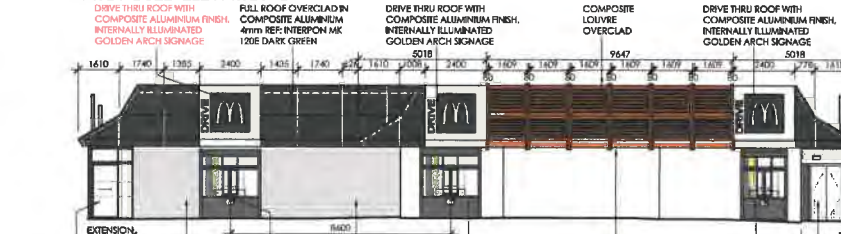
EXISTING ELEVATION B



EXISTING ELEVATION D



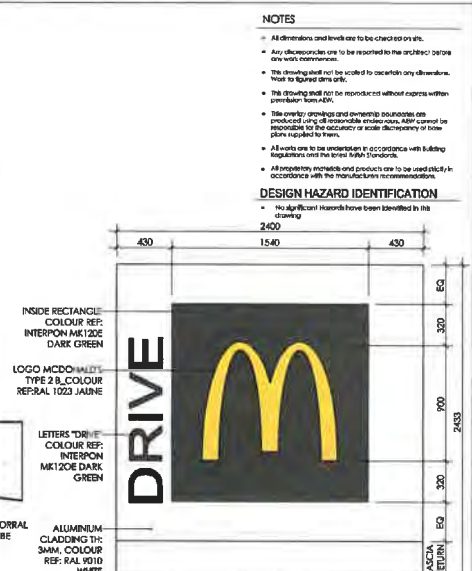
PROPOSED ELEVATION B



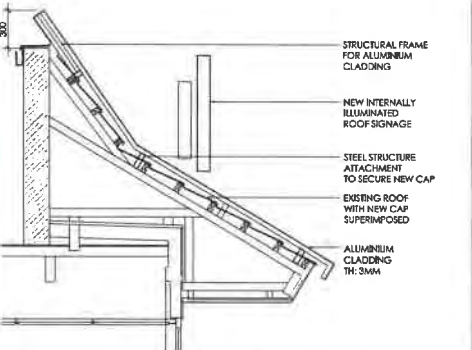
PROPOSED ELEVATION D

DESCRIPTION	EXISTING	PROPOSED
WALLS	AS EXISTING	AS EXISTING
ROOF	SLATE	COMPOSITE LOUVER OVERCLAD IN ALUMINIUM 4mm REF: INTERPON MK 120E DARK GREEN
WINDOW FRAMES	KHAKI GREEN ALUMINIUM	AS EXISTING
SOFFITS & FACIAS	KHAKI GREEN ALUMINIUM	RE-SPRAYED KHAKI GREEN RAL 6015
DOORS	KHAKI GREEN ALUMINIUM	AS EXISTING
BOOTH WINDOWS (inc surrounds)	KHAKI GREEN ALUMINIUM TO BOOTH, TRADER EFFECT ALU TO SURROUND	AS EXISTING
DRIVE THRU ROOF WITH DRIVE SIGNAGE	PAINTED ON COMPOSITE ALUMINIUM FINISH WITH INTERNALLY ILLUMINATED GOLDEN ARCH SIGNAGE	PAINTED ON COMPOSITE ALUMINIUM FINISH WITH INTERNALLY ILLUMINATED GOLDEN ARCH SIGNAGE
FULL ROOF OVERCLAD IN COMPOSITE ALUMINIUM 4mm REF: INTERPON MK 120E DARK GREEN	AS EXISTING	AS EXISTING

PLAN - NTS



CANOPY DETAIL 1:20



TYPICAL SECTION DETAIL 1:20

- NOTES**
- All dimensions and levels are to be checked on site.
 - Any discrepancies are to be reported to the architect before the work commences.
 - This drawing shall not be scaled to ascertain any dimensions, work to figured dimensions only.
 - This drawing shall not be reproduced without express written permission from AEC.
 - This drawing, drawings and ownership documents are produced using all reasonable endeavours. AEC cannot be responsible for the accuracy or scale discrepancy or how they are applied to the work.
 - All works are to be undertaken in accordance with Building Regulations and the relevant standards.
 - All proprietary materials and products are to be used in accordance with the manufacturer's recommendations.

DESIGN HAZARD IDENTIFICATION

- No significant hazards have been identified in this drawing.

REV	Date	Drawn by	Checked by
D	04.08.18	AJ	HE
C	25.01.18	AJ	HE
B	18.10.17	AJ	HE
A	13.06.17	AJ	HE

For Information

McDonald's Restaurant Ltd
 project: WHITEFIELD
 site: SURREY NEW ROAD
 0409

EXISTING & PROPOSED ELEVATIONS
 PHASE 1
 date: 07.07.17
 scale: A3
 1:100
 drawn: AJ
 checked: HE

0 1 2 3 4 5m
 Scale 1:100

EXISTING & PROPOSED ELEVATIONS 1:100

REIMAGE
MINI MAX

**PROMISED GENERAL ARRANGEMENT PLAN
OPTION 2 FRONT UNDER EAVES EXTENSION**

2008 02.17 04-1 AJ

NOTES

- Substances and health: A hazard is a situation
 - a) A substance has the potential to cause harm to people or the environment
 - b) The hazard is not a result of the substance alone, but the way it is used
- The way a substance is used is a key factor in determining the hazard
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 - b) The way a substance is used is a key factor in determining the hazard
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- The way a substance is used is a key factor in determining the hazard
 - a) The way a substance is used is a key factor in determining the hazard
 - b) The way a substance is used is a key factor in determining the hazard

DESIGN HAZARD IDENTIFICATION

It is a process of identifying potential hazards in a design or system before they occur.

[illegible]

~~DESIGN FREEZE~~
~~DESIGN WORKING GROUP~~
~~APPROVED~~

[illegible]

7086_AEW_Q409_D150 G

Ward: Whitefield + Unsworth - Pilkington Park

Item 03

Applicant: Aldi Stores Limited

Location: Aldi Foodstore Ltd, Higher Lane, Whitefield, Manchester, M45 7EA

Proposal: Demolition of food store and retail terrace. Erection of replacement Class A1 foodstore with associated access, car parking, servicing and hard and soft landscaping

Application Ref: 63636/Full

Target Date: 25/03/2019

Recommendation: Approve with Conditions

Description

The application site forms part of the Whitefield district centre. There are three buildings on site - a terrace of retail units with residential accommodation above, the Aldi foodstore and the McDonalds restaurant.

The terrace is in commercial/retail use at the ground floor with 2 floors of maisonettes above. The building has a pitched roof and is constructed from red/brown brick. The Aldi building is single storey with a pitched roof and has a standard retail unit appearance constructed of red/brown brick, aluminium cladding and grey roof tiles. The McDonalds building is single storey with a mansard roof and is constructed from red/brown brick.

The site is accessed from Higher Lane via Fountains Place and there are a series of car parks, with 132 spaces in total. Servicing for Aldi and McDonalds takes place within the site and the servicing for the terrace takes place at the rear and is accessed from Frankton Road.

There are commercial properties and a restaurant to the north and Bury New Road forms the boundary to the east with residential and commercial properties beyond. There are residential dwellings and a nursery to the south and residential properties to the west.

The proposed development involves the demolition of the terrace (residential, commercial and retail units) and the Aldi foodstore and erection of a single retail unit in the south western corner of the site. The proposed building would be single storey with a monopitch roof and would be constructed from light and dark grey metal cladding. The proposed building would be 5.6 metres at its lowest point and 8.5 metres at its highest point.

The proposed development would be accessed from the existing access on Higher Lane via Fountain Place and the car parking layout would be modified. All servicing would take place within the application site.

Relevant Planning History

48879 - Extension to existing food store and alterations to car parking provision and external alterations to elevations at Aldi store, Higher Lane, Whitefield. Approved with conditions - 19 December 2007.

58890 - Demolition of store at rear; erection of single storey extension at front and rear; provision of new entrance portico and trolley store; amendments to car park layout and new LED lighting to existing lighting columns at Aldi store, Higher Lane, Whitefield. Approved with conditions - 1 September 2015.

62751 - Demolition of 34-36 Fountain Place and the extension of existing car park at 34 - 36 Fountain Place and Aldi Foodstore, Higher Lane, Whitefield. Approved with conditions - 20 June 2018.

Adjacent site (McDonalds)

51778 - Refurbishment of restaurant and patio area at McDonalds, 103 Bury New Road, Whitefield. Approved with conditions - 6 November 2009.

63029 - Alterations to elevations to include the construction of extensions totalling 79.6m² and new cladding to roof and an additional drive thru booth. New shop front glazing, relocated entrance and new boundary fencing. The reconfiguration of the drive thru lane to provide side by side ordering and associated works to the site with new and relocated signage including fascia signage at McDonalds, 103 Bury New Road, Whitefield. Withdrawn - 28 September 2018.

63597 - Alterations to elevations to include the construction of extensions totalling 52.9m² and new cladding to roof and an additional drive thru booth. New shop front glazing, relocated entrance and new boundary fencing. The reconfiguration of the drive thru lane to provide side by side ordering and associated works to the site with new and relocated signage including fascia signage at McDonalds Restaurant, 103 Bury New Road, Whitefield. Received - 17 December 2018.

63212 - Partial demolition of existing structures and erection of replacement Class A1 foodstore with associated access, car parking, servicing and hard and soft landscaping at Aldi Foodstore, Higher Lane, Whitefield. Received - 31 August 2018

02003/E - Demolition of existing Aldi store and shops and the erection of a replacement Aldi store with associated parking and servicing areas - Enquiry completed 25/08/2017

Publicity

The neighbouring properties were notified by means of a letter on 4 January 2019 and a press notice was posted in the Bury Times on 10 January 2019. Site notices were posted on 9 January 2019.

4 letters have been received from the occupiers of 8, 22 Frankton Road, 13 Sefton Street, 89 Bury New Road, which have raised the following issues:

- Concerned about the proximity of the delivery vehicles to houses on Bury New Road. The lorries deliver and empty skips in the early hours. Lorries delivering frozen goods are particularly loud as drivers do not turn the units off while unloading.
- This will become worse as the Aldi lorries will be closer to our properties. Can anything be done to ensure noise restriction and avoidance of traffic fumes?
- I am not opposed to the proposal, but it does not take into account the use of the car park by local businesses, such as the garage and bathroom showroom opposite.
- I object most strongly to the enlargement of the Aldi store and the inevitable increase in traffic.
- I objected to a previous extension in 2015 and the previous application and the air/noise pollution that this would bring.
- An increase in shopping traffic and more frequent deliveries would worsen the high levels of nitrogen dioxide in this area.
- The Council will be failing to act on the dangerous levels of pollution and its fatal impact upon the lives of residents.
- We need more trees, not traffic.
- My only concern is with extra noise especially early in the morning.
- I would ask that a wall is built around the shopping centre to act as a noise barrier and to protect the privacy of residents.

The objectors have been notified of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

Traffic Section - No objections in principle. Further comments to be reported in the Supplementary Report.

Drainage Section - No response.

Environmental Health - Contaminated Land - No objections, subject to the inclusion of conditions relating to contaminated land and asbestos.

Environmental Health - Air Quality - No objections, subject to the inclusion of a condition relating to electric charging points.

Environmental Health - Pollution Control - No comments.

Waste Management - No response.

Design for security - No objections.

United Utilities - No objections, subject to the inclusion of conditions relating to foul and surface water drainage.

GM Ecology Unit - No objections, subject to the inclusion of informatives relating to bats and nesting birds.

Pre-start Conditions - Applicant/Agent [Not relevant/has/has not] agreed with pre-start conditions

Unitary Development Plan and Policies

EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN1/5	Crime Prevention
EN1/7	Throughroutes and Gateways
EN1/8	Shop Fronts
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN7/2	Noise Pollution
EN7/5	Waste Water Management
S1/3	Shopping in District Centres
S2/1	All New Retail Proposals: Assessment Criteria
S2/3	Secondary Shopping Areas and Frontages
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle (Retail) - Policy S1/3 states that the Council will support proposals for new shopping development within the Borough's district centres at Whitefield, provided that such development is of a size, scale, function and character appropriate to serve the needs of the local area.

The proposed development involves the demolition of the existing retail units on Fountain Place (532 square metres) and the Aldi store (1,241 square metres), which equate to 1,773 square metres of retail floorspace. The proposed development would provide 1,802 square metres of retail floorspace in a new foodstore. As such, the proposed development would be slightly larger than the existing retail floorspace and would be of a size, scale and character appropriate to meet the needs of the local area. Therefore, the proposed

development would be acceptable in principle and would be in accordance with Policy S1/3 of the Bury Unitary Development Plan and the NPPF.

Design and layout - The proposed development would involve the demolition of the existing building and retail units and the erection of a single retail unit in the south western corner of the site. The proposed building would be single storey and would be constructed from grey metal cladding, which would match the existing store and would be appropriate. The northern elevation would be fully glazed and there would be high level glazing along the eastern elevation with an canopy, which would add visual interest to the elevations. Therefore, the proposed development would not be a prominent feature in the locality and would be in accordance with Policy EN1/2 of the Bury Unitary Development Plan.

Impact upon surrounding area - The proposed plant equipment would be located in the north western corner of the site, which would be within approx 15 - 20 metres of the residential dwellings on Fountain Place. It is proposed to enclose the plant area with a close boarded timber fence, which would reduce the noise levels.

Deliveries to the site would take place in the south western corner of the site, which would be within 9.5 metres of the residential properties on Frankton Road. The servicing would take place within an unloading dock and as such, the noise levels would be similar to existing. The applicant has provided a servicing management plan, which confirms that there would be 4 deliveries per day between the hours of 06.00 and 23.00 plus the collection of refuse. The following measures would be undertaken for each delivery:

- Deliveries would take a maximum of an hour and engines and refrigeration units would be switched off.
- The unloading dock contains a curtail dock shelter which provides a barrier between the store and service area and reduces noise.
- Drivers will be issued with instructions to be undertaken while delivering to the site - refrigeration unit will be turned off before approaching the store.
- Reversing beepers cannot be switched off due to health and safety reasons
- While vehicles are stationary the engines and radios will be switched off and after dark, headlights will be switched off.
- When manoeuvring in the site, drivers will engage gears quietly, keep engine revs to a minimum, apply brakes gently and close the drivers door quietly

The Pollution Control Section has no objections to the proposed development. As such, providing the servicing management plan is adhered to, which will be secured by a condition, the proposed development would not have a significantly adverse impact upon the amenity of the neighbouring properties. Therefore, the proposed development would be in accordance with Policy EN7/2 of the Bury Unitary Development Plan.

Impact upon residential amenity - SPD6 provides guidance on aspect standards between residential properties. However it would be a useful guide to assessing the impact of the height of the proposed development on the adjacent residential properties.

The aspect standards states that there should be a minimum of 20 metres between directly facing habitable windows and 13 metres between a habitable room window and a two storey blank wall.

The proposed building would be 5.4 metres in height rising to 8.3 metres in height on the eastern elevation. An average dwelling would be between 5 and 6 metres in height to the eaves and 8 metres in height overall. At 5.4 metres in height, the proposed building would be lower than a 2 storey dwelling adjacent to the dwellings on Frankton Road.

There would be 13.3 metres between No. 13 Frankton Road and the proposed building and 18.4 metres between No. 20 Frankton Road and the proposed building, which would be in excess of the 13 metre aspect standard. Therefore, the proposed development would not have a significant adverse impact upon the amenity of the neighbouring properties.

Bats - A bat survey was submitted with the planning application and states that no bats

emerged from the building during the dusk emergence survey. Two bats were seen foraging along the western side of the building. There is low potential for bats to utilise the building for roosting and works to demolish the building should be undertaken under reasonable avoidance measures. GM Ecology Unit has no objections, subject to the inclusion of informatives relating to bats and nesting birds.. Therefore, the proposed development would not impact upon protected species and would be in accordance with Policy EN6 and EN6/3 of the Bury Unitary Development Plan and the NPPF.

Highways issues - The site is currently accessed from Higher Lane via Fountain Place and servicing takes place at the rear of the site via Frankton Road. The proposed development would change the access arrangements and all traffic (customers and deliveries) would utilise the access from Fountain Place. The proposed access would be widened and a pedestrian refuge would be provided. The proposed development would result in a marginal increase (74 square metres) of retail floorspace compared to the existing buildings on site, but the deliveries would be consolidated into 1 store. The Traffic Section has no objections in principle to the scheme and are currently assessing revised plans. Further comments will be reported in the Supplementary Report. Therefore, the proposed development would not be detrimental to highway safety and would be in accordance with Policies EN1/2 and S2/1 of the Bury Unitary Development Plan.

Parking - SPD11 states that the maximum parking standards for A1 (food retail) is 1 space per 16 square metres of floorspace and for a hot food takeaway is 1 space per 8.5 square metres of floorspace. This would equate to 112 spaces for the proposed retail unit and 54 spaces for the hot food takeaway (166 in total)

The proposed development would provide 130 spaces, including 8 disabled bays and 10 parent and child spaces. The proposed development is located in close proximity to public transport and as such, the level of parking provision would be acceptable. Therefore, the proposed development would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

Response to objectors

- The issues relating to noise and deliveries have been addressed in the report above.
- The proposed development would result in an additional 74 square metres of floorspace, which would not result in a significant increase in traffic visiting the site.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 1761BOL-110 B, 1761BOL-111 C, 1761BOL-112 F, 1761BOL-113 A, 1761BOL-114 A, 1761BOL-115 D, 1761BOL-116 A, 1761BOL-118, 1761BOL CGI 01, V1761-L01 D and the development shall not be carried out except in accordance with the drawings

hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.

Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.

4. No development shall commence unless and until:-

- A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the land owned by Aldi as defined on plan 1761BOL-118, shall be submitted to, and approved in writing by, the Local Planning Authority;
- Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
- Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

6. Prior to demolition of the structures on site an asbestos survey is to be carried out by an appropriately qualified contractor. Any asbestos identified should be disposed of in an appropriate manner.

Reason. This is to secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to the National Planning Policy Framework.

7. Prior to occupation of the building hereby approved, the applicant shall provide a scheme for electric vehicle charging points and should contain a charging point for every 1000 m² of floorspace.

Reason. In accordance with paragraph 35 and 124 of the NPPF, to encourage the uptake of ultra-low emission vehicles and ensure the development is sustainable. To safeguard residential amenity, public health and quality of life.

8. Foul and surface water shall be drained on separate systems.

Reason. To secure proper drainage and to manage the risk of flooding and pollution pursuant to Policy EN7/5 - Wastewater Management of the Bury Unitary Development Plan.

9. No development shall commence unless and until surface water drainage proposals for the land owned by Aldi as defined in plan 1761BOL-118, have been submitted to and approved in writing by the Local Planning Authority. The scheme should be in accordance with the submitted Surface Water Sustainable Drainage Assessment and must be based on the hierarchy of drainage options in the National Planning Practice Guidance and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of proposed maintenance arrangements should also be provided. The approved scheme only shall be implemented prior to first occupation and thereafter maintained.
Reason. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. To promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
10. If the demolition work hereby approved does not commence before 30th April 2019, the buildings must be reassessed for bat roosting potential and the findings submitted to and approved in writing by the Local Planning Authority before any works to demolish the building commence. Any mitigation measures required shall be fully implemented prior to the commencement of the demolition and shall remain on site until the works have been completed.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.
11. No deliveries shall take place to the site outside the hours of 06.00 to 23.00. All deliveries must take place in accordance with the Servicing Management Plan, dated 14 February 2019.
Reason. In the interests of residential amenity pursuant to Policy S2/6 - Hot Food and Drink.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 63636

**ADDRESS: Aldi
Higher Lane
Whitefield
Planning, Environmental and Regulatory Services**



Bury
COUNCIL

(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.

63636

Photo 1



Photo 2



63636

Photo 3



Photo 4



63636

Photo 5



Photo 6



63636

Photo 7



Photo 8






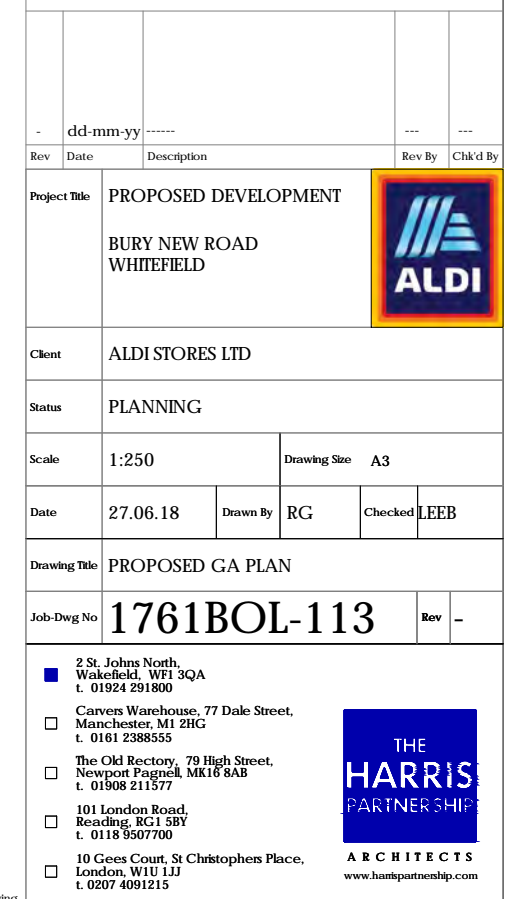
PROPOSED SITE PLAN
SCALE 1:250 @ A1

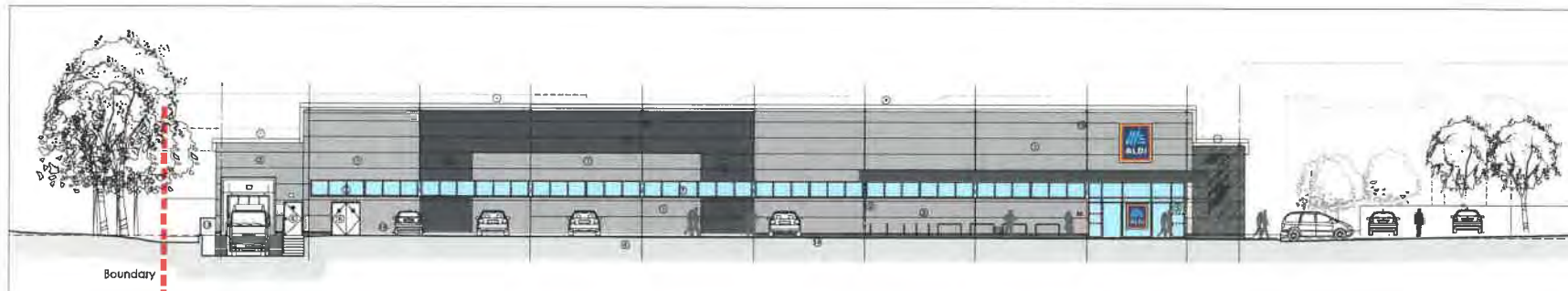
CAD file reference: J:/ALDI/MIDDLETON/1761MDW/100 SERIES

**TOTAL Site Boundary
(Red Line)-**
2.44 Acres/0.98 Hectares

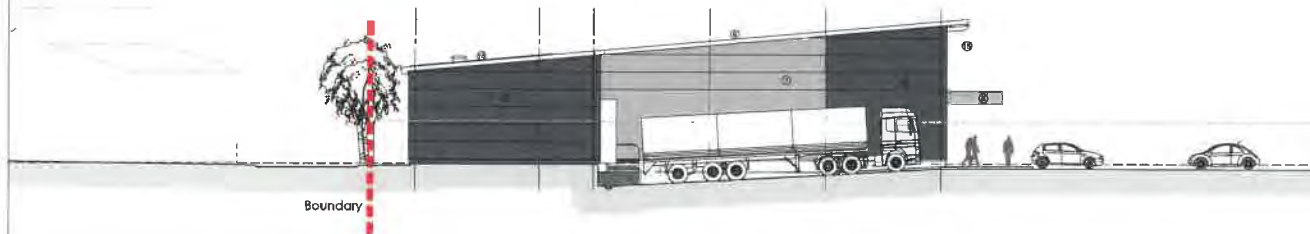
 Proposed
buildings to be
demolished

C	17.12.18	Red line and area updated	CM	LEEB
B	08.06.18	Demolishing proposals included	CM	LEEB
A	30.07.18	Red line updated	CM	LEEB
Rev	Date	Description	Rev By	Chkd By
Project Title		PROPOSED DEVELOPMENT		
		BURY NEW ROAD WHITEFIELD		
Client		ALDI STORES LTD		
Status		PLANNING		
Scale	1:250		Drawing Size	A1
Date	26.06.18	Drawn By	RG	Checked LEEB
Drawing Title		EXISTING SITE PLAN		
Job-Dwg No	1761BOL-111			Rev C
<div><div><div><div><div>■</div><div>2 St. Johns North, Walsley, W17 3QA t. 01924 291800</div></div><div><div><input type="checkbox"/></div><div>Carvers Warehouse, 77 Dale Street, Manchester, M1 2HG t. 0161 2388555</div></div><div><div><input type="checkbox"/></div><div>The Old Rectory, 79 High Street, Newport Pagnall, MK16 8AB t. 01908 211577</div></div><div><div><input type="checkbox"/></div><div>101 London Road, Reading, RG1 3BY t. 0118 9507700</div></div><div><div><input type="checkbox"/></div><div>10 Gaea Court, St Christophers Place, London, W1U 1JJ t. 0207 4091215</div></div></div><div><div><div>THE HARRIS PARTNERSHIP</div><div>ARCHITECTS</div><div>www.harrispartnership.com</div></div></div></div></div>				





PROPOSED ELEVATION A - FACING ONTO CUSTOMER CAR PARK



PROPOSED ELEVATION B - FACING ONTO ADJACENT LAND



PROPOSED ELEVATION C - FACING ONTO FRANKTON ROAD



PROPOSED ELEVATION D - FACING ONTO CUSTOMER CAR PARK

PROPOSED ELEVATIONS
SCALE 1:200 @ A2
SCALE 1:200
CAD file reference J:\ALDI\MIDDLETON\1761MIDW\100 SERIES

MATERIALS SPECIFICATION

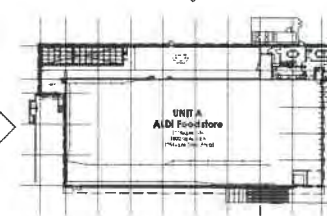
- ① KINGSPAN KS1000MR METALLIC SILVER CLADDING RAL 9006
- ② KINGSPAN KS1000MR ANTHRACITE GREY CLADDING RAL 7016
- ③ SHOPFRONTS - POLYESTER POWDER COATED ALUMINIUM (RAL 7016).
- ④ BLOCKLEYS BRICK LTD. 'CHARCOAL' BRICKWORK WITH TARMAC Y14 (BLACK) COLOURED MORTAR
- ⑤ ENTRANCE - POLYESTER POWDER COATED ALUMINIUM (RAL 7016 ANTHRACITE).
- ⑥ STEEL ESCAPE DOORS - POLYESTER POWDER COATED COLOUR GREY (RAL 7016) (FRAME COLOUR RAL 7016).
- ⑦ WINDOWS - POLYESTER POWDER COATED ALUMINIUM (RAL 7016).
- ⑧ FASCIAS - POWDER COATED ALUMINIUM TO BS6496 RAL 7016
- ⑨ RAINWATER GOODS POLYESTER POWDER COATED ALUMINIUM (RAL 7016).
- ⑩ KINGSPAN KS 1000 RW 80MM THICK TRAPEZOIDAL COMPOSITE ROOF PANELS ON PURLINS. ALL TO ACHIEVE MIN U-VALUE OF 0.25W/MPK. COLOUR TO BE ANTHRACITE GREY RAL 7016.
- ⑪ SECTIONAL OVERHEAD DOOR - PVF COATED STEEL (RAL 7016).
- ⑫ TROLLEY BAY RAILS - SATIN FINISH STAINLESS STEEL.
- ⑬ HANDRAILS - GALVANISED TUBULAR STEEL
- ⑭ PVF2 COATED ALUMINIUM PRESSED DRIP FLASHING. COLOUR METALLIC SILVER RAL 9006.
- ⑮ ALL EXPOSED STEELWORK TO BE PAINTED STEELGUARD 144 FINISH COAT TO BE GLOSS FINISH RAL 7016 ANTHRACITE GREY.

ELEVATION C

ELEVATION B

ELEVATION A

ELEVATION D



Project Title	PROPOSED DEVELOPMENT		
	BURY NEW ROAD WHITEFIELD		
Client	ALDI STORES LTD		
Status	PLANNING		
Scale	1:200	Drawing Size	A2
Date	27.06.18	Drawn By	RG
		Checked	EEB
Drawing Title	PROPOSED ELEVATIONS		
Job/Dwg No	1761BOL-114		

- 2.14, Johns North, Walsley, WFS 3QA
T. 01924 291609
- Carvers Warehouse, 77 Dale Street, Manchester, M1 2HG
T. 0161 2385555
- The Old Rectory, 79 High Street, Newport Pagnell, MK16 5AS
T. 01908 211517
- 101 London Road, Reading, RG1 1SR
T. 0118 959700
- 10 Great Court, 51 Chesham Road, London, W1U 1JJ
T. 0207 4071215

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Ward: Whitefield + Unsworth - Unsworth

Item 04

Applicant: Commercial Development Projects Limited (CDP Ltd) and Cranswick Country Foods PL

Location: Land at Roach Bank Road, Bury, BL9 8RY

Proposal: Retention of external lighting scheme and baffling approved by 62835

Application Ref: 63686/Full

Target Date: 15/03/2019

Recommendation: Approve with Conditions

Description

The application relates to a site which forms part of the Pilsworth Employment Generating Area and is allocated for Business, General Industrial and Warehousing Uses as defined in the Bury Unitary Development Plan under policies EC1/1 and EC2/1.

To the south is Roch Bank Road from which the site is accessed, with established industrial and business units directly opposite and to the east. To the north and west is land defined as a Wildlife Link and Corridor (Policy EN6/4) and River Valley (Policy OL5/2). The land to the west falls steeply away from the site to the River Roch and the housing development beyond on the Gigg Lane Estate, some 118m away.

Background

Following the development of the site for an industrial unit, complaints were received by the Local Planning Authority from local residents that lighting had been erected on the site causing significant levels of light pollution across the valley to the residents on the Gigg Lane Estate. An Enforcement Investigation confirmed that lighting had been installed to the car park, rear service yard and access road along the western boundary leading to the servicing area, without the benefit of planning permission.

There are 67 lights on the site, comprising the following:

- 15. no 100w LED Columns mounted at 8m;
- 25 no 100w LED Floodlighting columns mounted at 8m;
- 18 no. 20w LED bollards;
- 9 No. 165w LED Columns mounted at 8m

To regularise the development, a planning application (reference 62835) was submitted for the retention of the lighting on the site. In the application, the Applicant sought to address the concerns of the residents by introducing mitigation measures to reduce light pollution and light spillage.

One such measure was the installation of baffling to some lighting columns on the site which were causing the most light spill. A baffle is a shield or screen which is fixed to the light fitting and controls the direction and angle of the light.

The baffles were installed on lights along the service yard access road which runs along the western boundary of the site. Within the service yard area at the rear, there are 5 sets of floodlights mounted on 8m high columns, 4 of which have been fitted with a baffle, the other light is screened by the building and not visible from the west. Within the car park to the front of the building, there are floodlights mounted on 8m high columns. These have not been baffled.

The Applicant also proposed that all external lighting would be switched off between the hours of 23.00 and 0.700 apart from the safety and security lighting which would be reduced in luminance between these hours.

The application was determined and approved at the Planning Control Committee meeting in July 2018 on the condition that the development be granted a temporary permission for 6 months to enable the lighting to be monitored in the darker winter months when the lights would be on for longer. There were also conditions that the baffling be retained in situ, and lights switched off between 23.00 and 0.700 apart from the security lighting.

Since the approval of the previous application and up until the submission of this application, there have been no complaints received by the LPA about the lighting, and this has also been confirmed by the Environmental Health Pollution Control Section.

The 6 months has now expired and the applicant is seeking the permanent retention of the lighting and which is the subject of this planning application.

Relevant Planning History

62835 - External lighting scheme and baffling - Approve with Conditions 01/08/2018. Temporary consent for 6 months.

61598 - Variation of condition 2 (approved plans) of planning permission 60556 for an industrial unit for a food production facility. Amendments to the approved scheme comprise: revisions to site layout, floor layout and elevation plans; revised landscaping scheme and boundary treatment; increase in height of building from 15.7m to 16.4m; revised parking provision from 272 spaces to 260 spaces - Approved 23/8/2017.

60776 - Non-material amendment following grant of planning permission 60556 (industrial unit for a food production facility with ancillary offices, associated parking, service yards and landscaping): Goods lift - lay by added along HGV access/egress; Plant room width increased from 24m to 54.5m on eastern elevation; External staircase at staff entrance on west elevation now included inside building - Approve 01/12/2016

60556 - Full planning application for an industrial unit for a food production facility with ancillary offices, associated parking, service yards and landscaping. - Approved 25/10/2016.

Publicity

Letters sent to 107 properties on 24/1/2019 to addresses on Harrington Close, Grasmere Drive, Newby Close, Roach Bank Road, Pilsworth Road, Pilsworth Way, Redmere Drive, Park 66, Gigg Lane, Arncliffe Close, Tunstall Close.

Site notices posted 1/2/2019

10 letters of objection received from Nos 19 Harrington Close, 12, 19, 21 (x2) Grasmere Drive, Water Farm House, 84 Nelson Street, Waterfarm Fishery (x2), 5 Glastonbury Gardens

- I continue to object to the development, in particular the lighting, which seems to be permanently on, causing severe light pollution in the area. The bright lights illuminate our bedrooms, and are effecting sleeping patterns.
- None of the planting promised in the original planning seems to have been planted, so the building is an unsightly monstrosity.
- I don't hold much hope that any action will be taking, as this company seems to be able to do what ever they like, but I find it totally unacceptable.
- The lights have been up on a partial planning consent for six months. The owners/ councillors/ council promised that the impact of lights on the site would be minimal. The site is frequently left completely lit up 24/7 for absolutely no reason. This has a detrimental effect on the residential area directly below it. It also has had a negative impact on the local wildlife - birds are heard singing throughout the night even in January, as presumably with the sheer amount of light emitted by this structure they believe it is morning.
- If anyone who is involved in this planning process has any consideration at all for the

residents and wildlife who have to put up with this building, can you please insist that the proprietors have to switch off all unnecessary lighting in the office areas and other areas when it is not needed. If we are all to share a space, we can at least be considerate.

- Object to more lighting.
- If they have money to spend suggest fixing blinds to the many large windows and giving us some respite from the illuminated eyesore;
- The lighting is on 24/7 and I've had to purchase black out curtains for both my boys rooms;
- During the summer there is a constant humming noise making sleeping through the night quite impossible.
- The warehouse building really is encroaching on our personal home life and wellbeing, as it is a 'new' build I would like to know if there could possibly be a way to see our point of view in this situation.
- Notice the light pollution issue more during the winter months as during the evening if my curtains are not closed the light on the corner of the warehouse beams straight into the house through all the windows on the front making me feel quite uneasy.
- Our fishing ponds have gone from being a nice peaceful, relaxing fishing time to an annoying deafening hum.
- We were unaware that when planning was given for the build we would be disrupted by noise and light pollution.
- We were only ever aware that the plot was going to be for office blocks, not an extremely large food distribution centre.
- Used to farm at this fishery and stopped partly as the lights shine straight over which reflects off the water and it must be affecting the fish as catch reports have gone down. Other members have left as fishing is supposed to be relaxing and should not have lights in face and alarms going off. A shame for the owner.
- This is the second time of objecting. At the Council meeting last year it was promised a site visit would take place in January 2019 and this has not happened - still waiting for the Council to reply to this.
- Have asked the Council to sort out the noise from the fans but was told they cannot do anything as i do not live there.
- Bury Council blocking of my access to the fishery is putting me out of business and I cannot afford to keep feeding the 8000 fish every month and Bury Council don't seem to want to help.
- Why was the fishery not originally consulted and the lights could have been a planning condition.
- No longer go to the fisheries due to the spotlights shining all night and making it impossible to get rest or sleep;

Those who have made representations have been informed of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

Environmental Health - Pollution Control - No objection

Greater Manchester Ecology Unit - No response received.

Pre-start Conditions - Not relevant

Unitary Development Plan and Policies

EC1	Employment Land Provision
EC1/1	Land for Business (B1) (B2) (B8)
EC2/2	Employment Land and Premises
EC5	Offices
EC5/2	Other Centres and Preferred Office Locations
EC6	New Business, Industrial and Commercial Development
EC6/1	New Business, Industrial and Commercial
EN1	Built Environment
EN1/2	Townscape and Built Design

EN1/5	Crime Prevention
EN5	Flood Protection and Defence
EN5/1	New Development and Flood Risk
EN6/4	Wildlife Links and Corridors
EN7	Pollution Control
OL5/2	Development in River Valleys
EN1/1	Visual Amenity
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework
HT2/10	Development Affecting Trunk Roads
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EC3/1	Measures to Improve Industrial Areas
HT6/2	Pedestrian/Vehicular Conflict
HT2	Highway Network
HT4	New Development

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Siting and location - The lights are located in the car park, service yard and along the service yard access road. The lights are a modern and contemporary type and commonly found within industrial and commercial settings. The site is part of a wider industrial estate where there is a mix of lighting in the area and on and around buildings. The lighting which has been erected in the site is therefore considered not to be inappropriate within the setting of the development or the surrounding area.

The site section plan shows that the 8m high columns are located against the backdrop of the building which is 16.4m in height when viewed from the west. There is existing landscaping and new planting (granted under references 60556 and 61598) which comprises of heavy standard oak, birch and evergreen trees, which when fully grown will aid in partly screening the lights from view.

Lighting is a fundamental part of an industrial development providing a safe and secure site for employees and visitors as well as meeting the operational needs of a 24/7 business, and is similar to other units in the vicinity.

It is therefore considered that the lighting is of a high standard of design and specification, appropriate to the setting and functional to meet the occupier's requirements, and therefore in compliance with UDP Policy EC6/1 - Assessing New Business, Industrial and Commercial Development and EN1/2 - Townscape and Built Design.

Impact on residential development

External lighting scheme

The residential properties which are most affected by the development are those houses across the valley to the west on the Gigg Lane Estate and particularly properties on Grasmere Drive and the cul de sacs which extend off this road. The nearest houses are on Harrington Drive, 118m from the industrial site, although the site can be seen from a number of view points from the Estate.

The lighting which is most visible to these houses is located in the western part of the car

park at the front of the industrial unit, the area along the westerly boundary of the site and part of the service yard at the rear of the building.

When the lights were first installed, the residents on the estate complained it caused significant light pollution to their properties and submitted photographs as evidence. Made aware of the resident's concerns and as part of the original application submission, the Applicant looked into providing a number of mitigation measures to reduce the light spillage and light pollution from the site.

The mitigation measures comprised:

- baffles to lights in the service yard area
- external lighting (apart from security lighting) to be switched off between the hours of 23.00 and 07.00
- reduction of the luminance of the security lights during the hours of 23.00 and 07.00

Baffles are a shield or screen, fixed to the light fitting which direct light in a certain angle. The baffles direct the light downwards diffusing light spillage from these lights and thereby reducing the amount of brightness and luminosity reflected from the site. The baffles have been installed on the lighting which is located along the western boundary and on 4 of the 5 lights in the rear service yard area which are the most visible to the houses on the estate to the west. The lights which are along the eastern access road face the adjacent commercial unit and baffling was considered not to be necessary in this part of the site as it is obscured by the building from the residential properties.

The security lighting is located in the car park, along the eastern access road and to the rear service yard area. During the hours of 11pm to 7am, the luminance of the security lighting has been lowered to comply with the lower levels of lighting recommended during these hours in the ILP's (Institute of Lighting Professionals) Guidance Notes.

The Applicant has confirmed that all the other external lighting, apart from the safety and security lighting, will automatically be switched off between 23.00 and 07.00.

The properties on the estate are located at a significantly lower level than the site and do have view of some of the lights on the site which are on during the hours of darkness. However, there are a number of street lights which are located on the estate and outside some of the residents properties which in themselves create a certain amount of light pollution within this residential area and are more visible and intrusive to residents from inside their houses than the lights from the site itself.

Planning is about striking a balance and weighing up proposals for new development and any benefits it may bring, against any negative impacts a new development may generate. In this case, the development relates to an employment use within an established industrial and commercial setting which has brought jobs to the area and contributes to the local economy. It would not be uncommon for there to be some consequences arising from a development of this scale, particularly as a 24/7 operation.

The Applicant has sought to address as far as can be reasonably possible, the concerns and objections of the local residents, by introducing mitigation measures to limit impact of the lights from the site, which can be controlled by reasonable and enforceable conditions.

The Applicant has also confirmed that the planning conditions attached to the temporary consent are being adhered to and no complaints have been received by residents.

It is therefore considered that the lighting which is in situ does not cause a significantly adverse impacts on the amenity of the residents and its retention would not result in such unacceptable levels of harm which would warrant the refusal of the application. As such, the proposed development is considered to be acceptable and comply with UDP Policies EN1/2 - Townscape and Built Design, EN7 - Pollution and EC6/1 - Assessing New Business, Industrial and Commercial Development and the principles of the NPPF.

Internal lighting

The internal lighting of the building does not in itself require planning permission. As a commercial business operating at 24/7, it would be expected that there would be a certain amount of lighting required for the business to be able to function during the night and when it is dark.

However, some of the objections relate to the lights which are on inside the building and which the objectors state are particularly bright when it is dark. It would not be reasonable or practical for planning to regulate or control internal lighting, as some days may be darker than others depending on weather conditions and time of the year. In any event, it would be almost impossible to monitor or enforce a condition which either limit or restrict the use of internal lighting.

The Applicant has taken on board the objector's concerns and in the spirit of neighbourliness, is agreeable to adjusting the light settings within the stairwell on the west elevation facing the estate to address resident's concerns, which would reduce the intensity of the luminance from the building.

Ecology - Whilst no response has been received from GMEU, there were no identified ecological issues raised on the previous application and GMEU had no comments to make. It is therefore reasonable to conclude likewise for the current application.

Response to objectors

- The applicant has confirmed that the approved landscaping scheme has been implemented.
- The objections relating to the noise output from the plant equipment is not relevant to this application and subject to a separate legislation under the Environmental Protection Act.
- Restricted access to the fishery is not a relevant objection to the application.
- In terms of notification and publicity, site notices were placed on and near the site and at various locations on the Gigg Lane estate and therefore the statutory publicity requirements were lawfully complied with. There are no proposals to install any additional lighting to what is currently in situ.
- All other objections have been addressed in the above report.
- The site has been a long standing allocation for employment purposes since the adoption of the Bury UDP in 1997.
- Whilst the fishing club have enjoyed the benefit of no development of the land for a considerable period of time, in accordance with objectives of the development plan, both environmental and economic objectives must be considered.
- The delivery of this employment site is a key element of Pilsworth and employment opportunities as well as securing economic regeneration of this site. In consideration of environmental concerns and in particular, impacts upon night fishing, a balance must be struck to allow both users to operate. It is for this reason that the applicant installed baffles to reduce long range glare and in relation to the fishery users, the baffles remain effective and controlled through their hours of use.
- As such, it is recommended that a balance has been demonstrated, which would allow both parties to operate reasonably.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

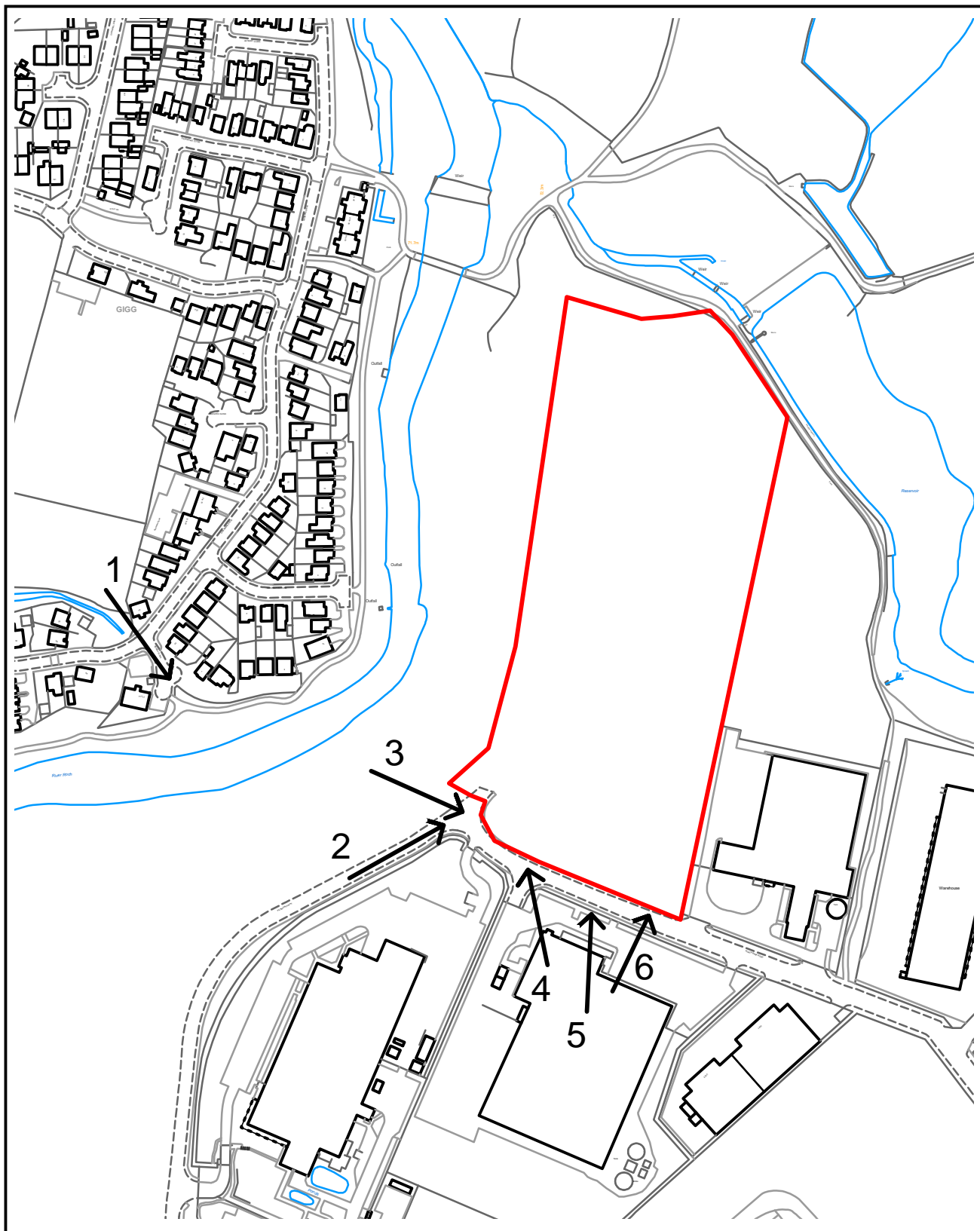
Recommendation: Approve with Conditions

Conditions/ Reasons

1. This decision relates to drawings - Location plan M2172-105 Rev E; External lighting E1702/410; External lighting E1702/401 Rev A; Site sections M2172-09 Rev A and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
2. All external lighting (excluding the safety and security lighting) shall be switched off between the hours of 23.00 and 7.00 daily.
Reason. In the interests and protection of residential amenity of nearby occupiers pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design, EN7 - Pollution Control and EC6/1 - New Business, Industrial and Commercial Development.
3. The security lighting indicated on approved plan E1702/410 shall comply with the lower levels of lighting recommended in Table 2 of the Institute of Lighting Professionals, 2011, between the hours of 23.00 and 07.00 hours.
Reason. In the interests of residential amenity pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design, EN7 - Pollution and EC6/1 - New Business, Industrial and Commercial Development.
4. The baffles which have been installed on the lights indicated on approved plan E1702/401 Rev A shall thereafter be maintained in the approved positions.
Reason. In the interests of residential amenity pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design, EN7 - Pollution and EC6/1 - New Business, Industrial and Commercial Development.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 63686

ADDRESS: Land at Roach Bank Road
Bury



Bury
COUNCIL

Planning, Environmental and Regulatory Services 1:1250

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63686

Photo 1



Photo 2



63686

Photo 3



Photo 4



63686

Photo 5

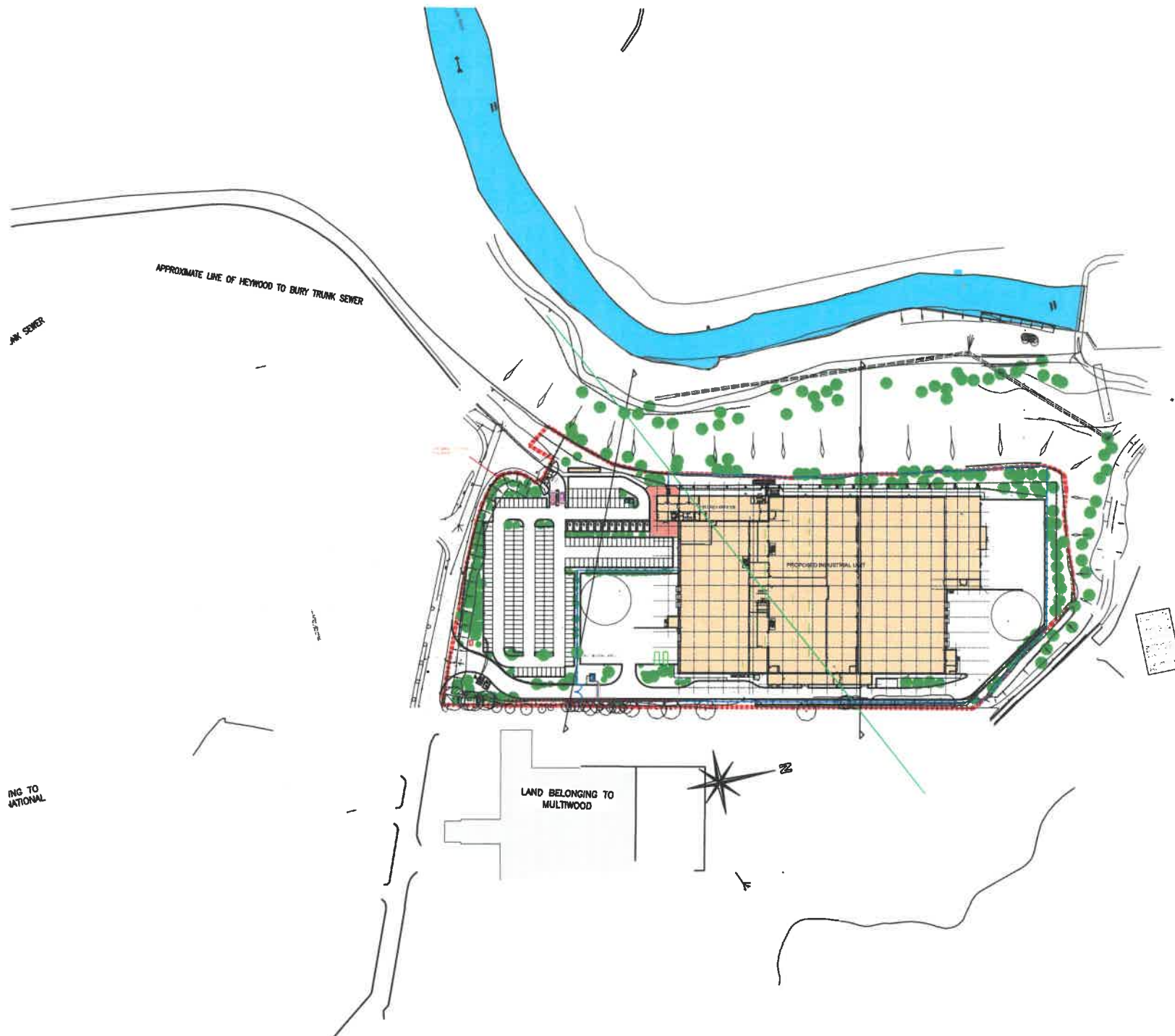


Photo 6



Example of baffled light





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NOTES

REVISIONS

REV	DATE	DESCRIPTION
A	SEPT 16	RED LINE AMENDED
B	SEPT 16	BUILDING HANDED
C	SEPT 16	RED LINE SOUNDLY AMENDED
D	NOV 16	ISSUED FOR CONSTRUCTION
E	JAN 17	REVISED AS-BUILT

BUILDING MANAGEMENT SERVICES LTD

WUDGERSFIELD ROAD
ELLAND, WEST YORKSHIRE
HX5 9BW
TELEPHONE : ELLAND (01422) 371616
FAX NO : (01422) 376717
EMAIL : MAIL@BMSSELLAND.COM

**Building
Management
Services**

CLIENT

C. D. P. LIMITED

PROJECT

INDUSTRIAL DEVELOPMENT
ROACH BANK ROAD
PILSWORTH, BURY

SHEET

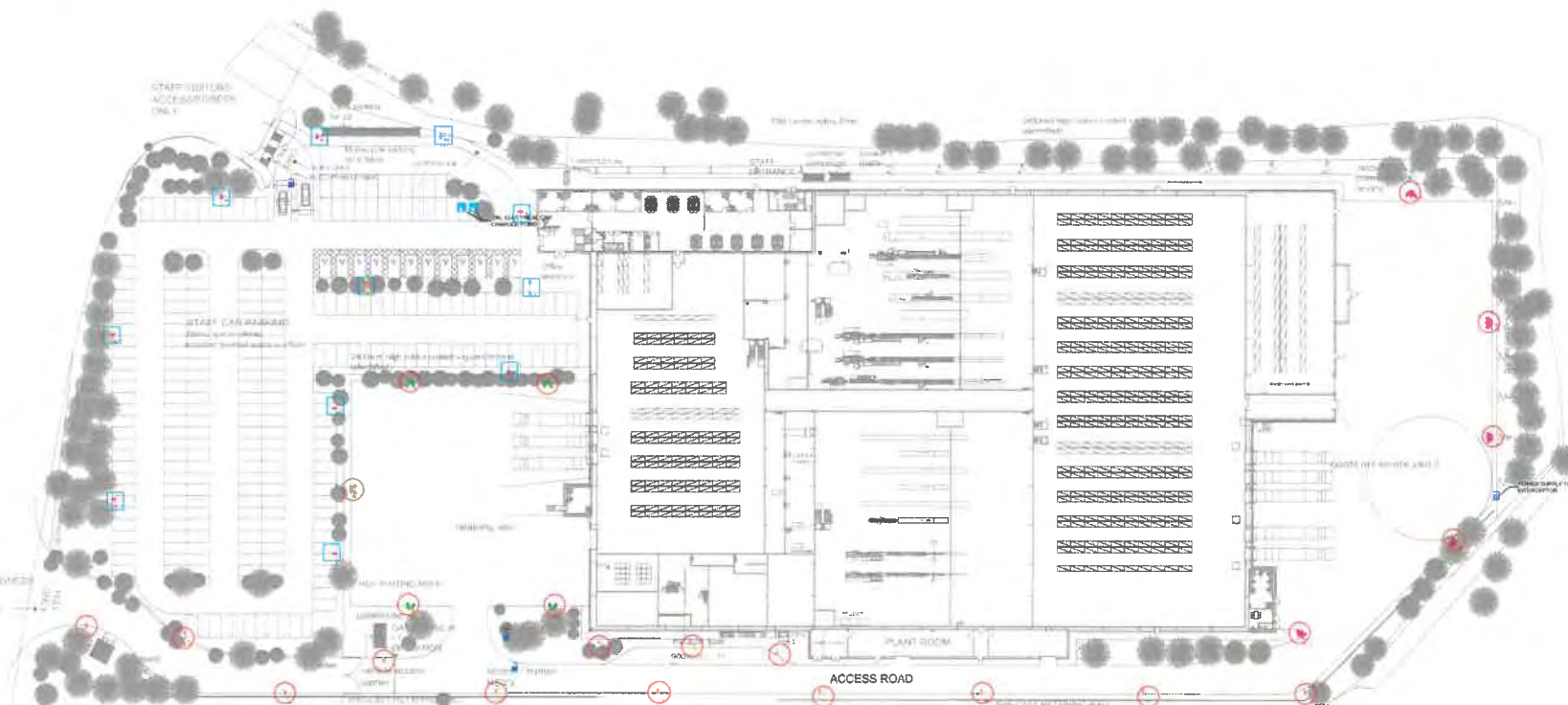
LOCATION PLAN

DESIGN	A J BAKER	DATE	SEPT 16
SCALE	1:1000		
STATUS	AS-BUILT		
EXAMINED BY		REVISION	
M2172-105			REV E

2019e - Beach Park Road bury



Qty	Range	LED Output	LED Lamp Output	Lamp Lumens	Color Ratio	lm/W	LOR	Luminaire Estimate	ULOR	Approved Lum	RA	ASTM Heat Map	ASP Calculation for pay
													per luminaire
15	2000K-3000K	100W LED 100W	Primary Street	2700	90	80-90	90.0%	15000	0.0%	0	0%	1.7	0.30
25	3000K-4000K	100W LED 100W	Primary Street	2700	90	80-90	90.0%	15000	0.0%	0	0%	1.7	0.30
10	4000K-5000K	100W LED 100W	Primary Street	2700	90	80-90	90.0%	15000	0.0%	0	0%	1.7	0.30

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Calculator Inventory							
Label	Category	Units	Acq. Price	Units	Shipping	Unit Price	
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Exam Pad	Mathematics	Less	20.00	50	0	0.85	
Goodies in Backpack	Mathematics	Less	19.00	100	0	0.85	
Goodies in Backpack	Mathematics	Less	27.00	140	1	0.84	
Box	Mathematics	Less	3.00	400	0	0.80	
Personalized Stationery	Mathematics	Less	20.00	200	0	0.75	
Pen and Pencil	Mathematics	Less	25.00	170	0	0.60	

Line Item Breakdown					
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5	1	5010	10000		

POL04: REDUCTION OF NIGHT TIME LIGHT POLLUTION

THE EXTERNAL LIGHTING STRATEGY MUST BE DESIGNED IN COMPLIANCE WITH TABLE 2 (AND ITS ACCOMPANYING NOTES) OF THE ILP GUIDANCE NOTES FOR THE REDUCTION OF OBTRUSIVE LIGHT, 2011.

ALL EXTERNAL LIGHTING **[EXCEPT FOR SAFETY AND SECURITY LIGHTING]** CAN BE AUTOMATICALLY SWITCHED OFF BETWEEN 23:00 AND 07:00. IF SAFETY OR SECURITY LIGHTING IS PROVIDED AND WILL BE USED BETWEEN 23:00 AND 07:00, THIS PART OF THE LIGHTING SYSTEM WILL COMPLY WITH THE LOWER LEVELS OF LIGHTING RECOMMENDED DURING THESE HOURS IN TABLE 2 OF THE ILP'S GUIDANCE NOTES.

ALL ADVERTISEMENTS, WHERE SPECIFIED, WILL BE DESIGNED IN COMPLIANCE WITH ILP LOG 6b THE BRIGHTNESS OF ILLUMINATED ADVERTISEMENTS.

DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.

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NOTES:-



DENOTES SAFETY LIGHTING



DENOTES SECURITY LIGHTING

REV	DESCRIPTION	DATE	BY
STATUS:-			

STATUS:-	AS FITTED
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Watsons
BUILDING SERVICES LTD

HEATING VENTILATION AIR CONDITIONING ELECTRICAL
ENERGY CONSERVATION DESIGN & INSTALLATION CONTRACTORS
Watson House, Powden Road, Sladden, Kington, W. Yorks BD20 0HD
Tel: 01535 652338 Fax: 01535 658851
E-mail: mail@watsonsbss.com Web: www.watsonsbss.com

TITLE:

INDUSTRIAL DEVELOPMENT
ROACH BANK ROAD
PILSWORTH
BURY

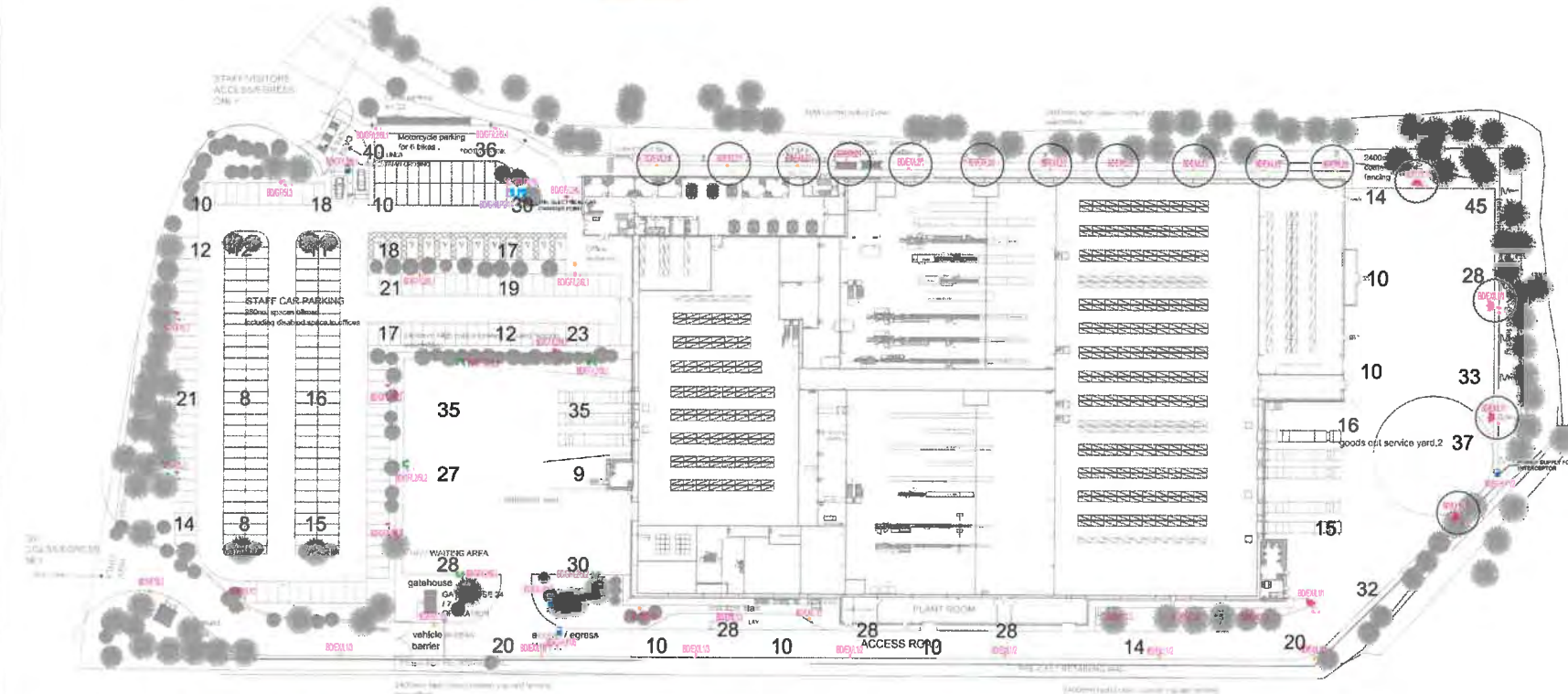
EXTERNAL LIGHTING

DRAWN:- DS	APPROVED:-	DATE:- FEB 17
CAD ENG:- VLC	CHECKED:-	SCALE (A1):- 1:500
DRAWING No:- E1702/410		REV:-

THE EXTERNAL LIGHTING STRATEGY WILL BE DESIGNED IN COMPLIANCE WITH TABLE 2 (AND ITS ACCOMPANYING NOTES) OF THE ILP GUIDANCE NOTES FOR THE REDUCTION OF OBTRUSIVE LIGHT, 2011.

ALL EXTERNAL LIGHTING (EXCEPT FOR SAFETY AND SECURITY LIGHTING) CAN BE AUTOMATICALLY SWITCHED OFF BETWEEN 23:00 AND 07:00. IF SAFETY OR SECURITY LIGHTING IS PROVIDED AND WILL BE USED BETWEEN 23:00 AND 07:00, THIS PART OF THE LIGHTING SYSTEM WILL COMPLY WITH THE LOWER LEVELS OF LIGHTING RECOMMENDED DURING THESE HOURS IN TABLE 2 OF THE ILPS GUIDANCE NOTES.

ALL ADVERTISED ADVERTISEMENTS, WHERE SPECIFIED, WILL BE DESIGNED IN COMPLIANCE WITH ILP PLG 5 OF THE BRIGHTNESS OF ILLUMINATED ADVERTISEMENTS.

[illegible][illegible][illegible][illegible]

DENOTES LIGHTS TO BE BAFFLE

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NOTES:-

A	<u>PERIMETER LIGHTS AMENDED</u>	03/04/18	VL
REV	DESCRIPTION	DATE	BY

STATUS:

AS FITTED



Watsons
BUILDING SERVICES LTD

HEATING VENTILATION AIR CONDITIONING ELECTRICAL
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Watson House, Howden Road, Salsden, Knightley, W. Yorks BD20 0HD
Tel: 01535 652338 Fax: 01536 656851
E-mail: mail@watsonsb.co.uk Web: www.watsonsb.co.uk

TITLE:

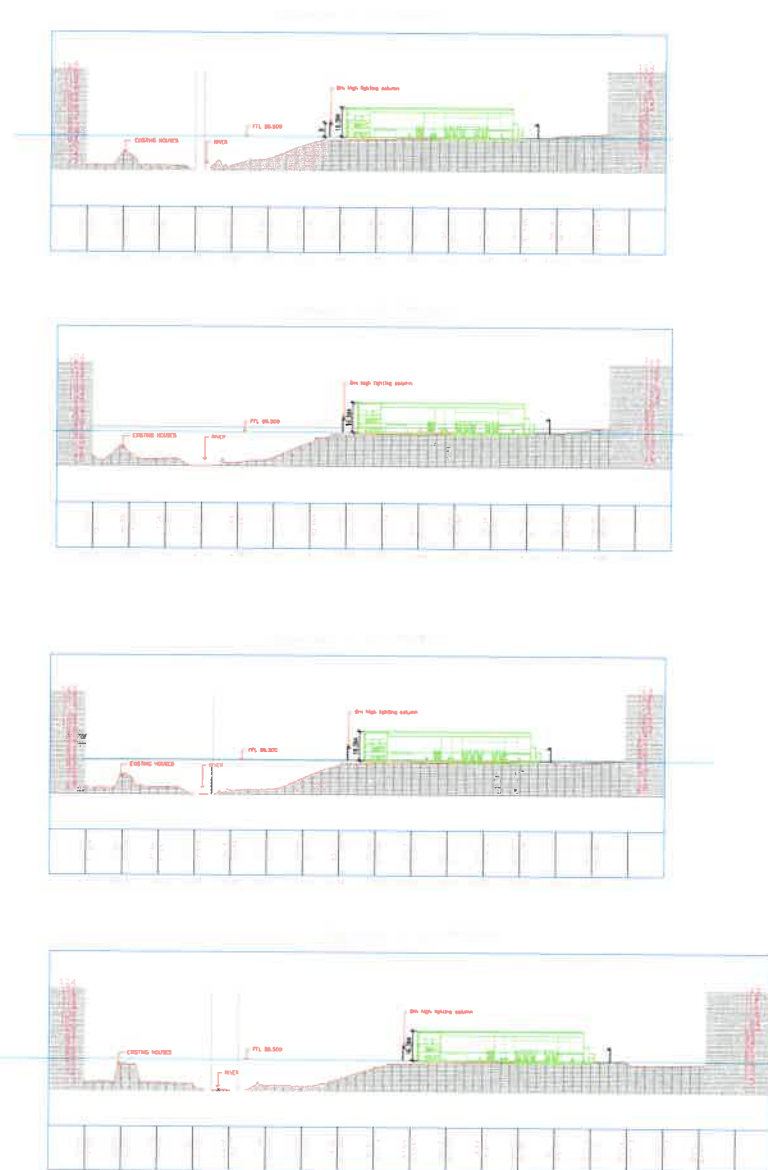
INDUSTRIAL DEVELOPMENT
ROACH BANK ROAD
PILSWORTH
BURY

EXTERNAL LIGHTING

DRAWN:- DS	APPROVED:-	DATE:- FEB 17
CAD ENG:- VLC	CHECKED:-	SCALE (A1):- 1:500
DRAWING No:- E1702/401		REV:- A



SITE LOCATION PLAN
SCALE 1:1250



SITE SECTIONS
SCALE 1:1000

Building Management Services Ltd Huddersfield Road Stand, West Yorkshire HD5 8HT TELEPHONE : 01484 371816 FAX No : 01484 371817 email : info@bmsltd.com	
Building Management Services	
C D P LIMITED	
Project: PROPOSED CONVERSION OF FIVE NEWTON INDUSTRIAL ESTATE SITE	
Sheet: SITE SECTIONS	
Drawn: A J BAKER	Date: JUN 10
Scale: 1:1000, 1:1250	
Checked: AS-BUILT	Revised: REV A
Drawing No: M2172-09	